

Case Farms P.U.D. - 2nd Amendment

Sheet 1 of 14

NOTES:

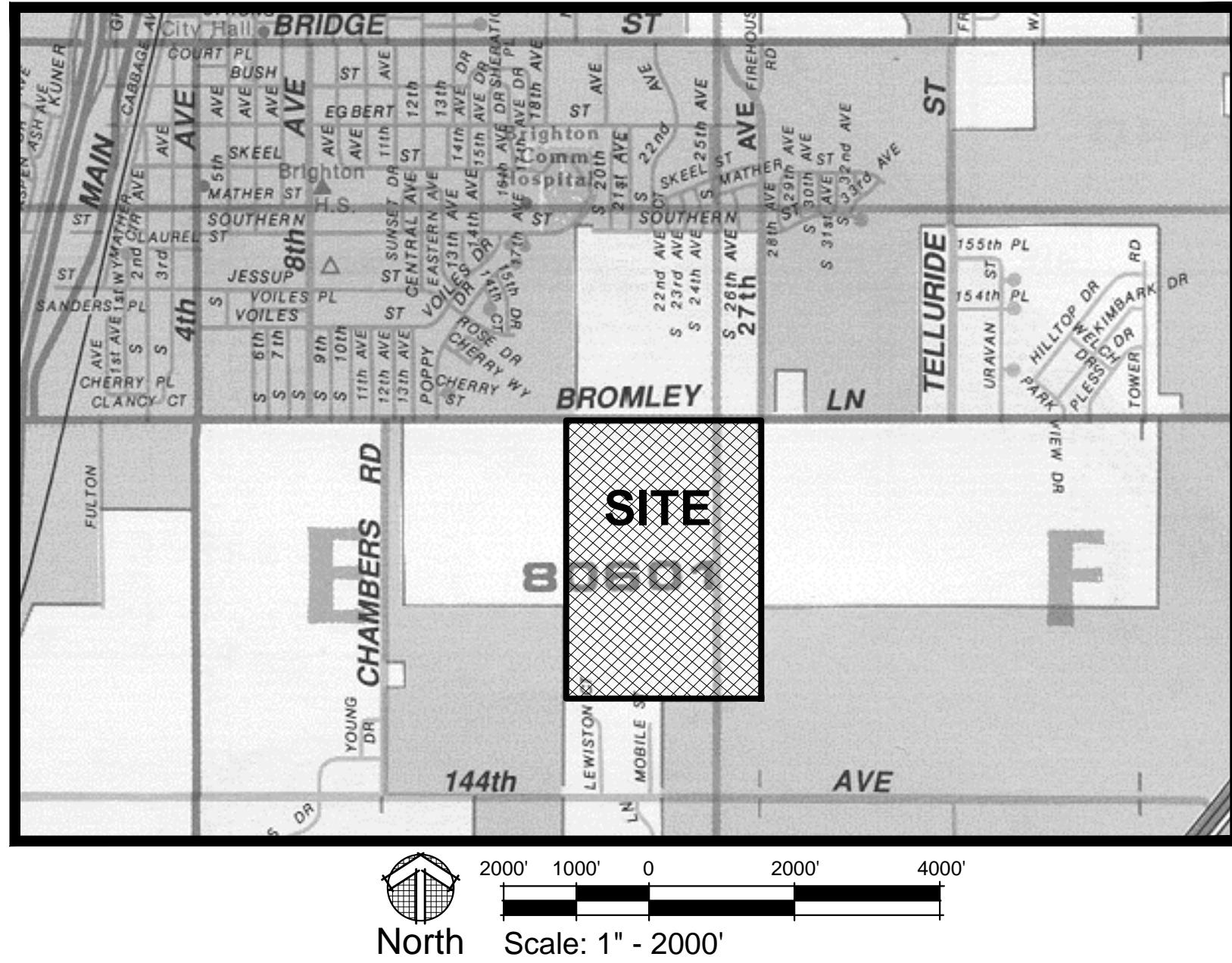
- This P.U.D. 2nd Amendment supersedes the original P.U.D. for Case Farms.
- Comprehensive Plan Designation: Bromley Lane District for the northern portion of the site and Medium Density Residential at 2.5 - 5.0 du/ac, for the southern portion.
- Water and sanitary sewer services to be provided by the City of Brighton.
- stormwater management facilities shall conform with the City of Brighton's O.S.P. Plans.
- Parks and Open Space shall be provided in accordance with the City of Brighton requirements set forth by City Ordinance in locations preliminarily identified on the P.U.D. plan, final public land dedication requirements will be determined and finalized at the time of Final Platting.
- No significant historic sites are located on the property.
- Streetscape and landscape buffers located outside of the right-of-way along collector and arterial streets shall be owned and maintained by the Homeowners Association or Metro District. Landscaping along arterial streets located within the right-of-way shall be maintained by Homeowners Association or Metro District. Landscaping along collector streets within the right-of-way and adjacent to the commercial, single family attached or park areas shall be maintained by the Homeowners Association or Metro District.
- All local streets are proposed with attached walks, however, the builder shall install the street tree landscape. The homeowner is responsible for the maintenance of the landscaping located within the 2.5 feet behind the walk to the edge of right of way and the 7 foot landscape easement in the front and corner side yard.
- Ownership and maintenance of all neighborhood parks, tracts, etc. shall be addressed at the time of Final Plat and in the Development Agreement.

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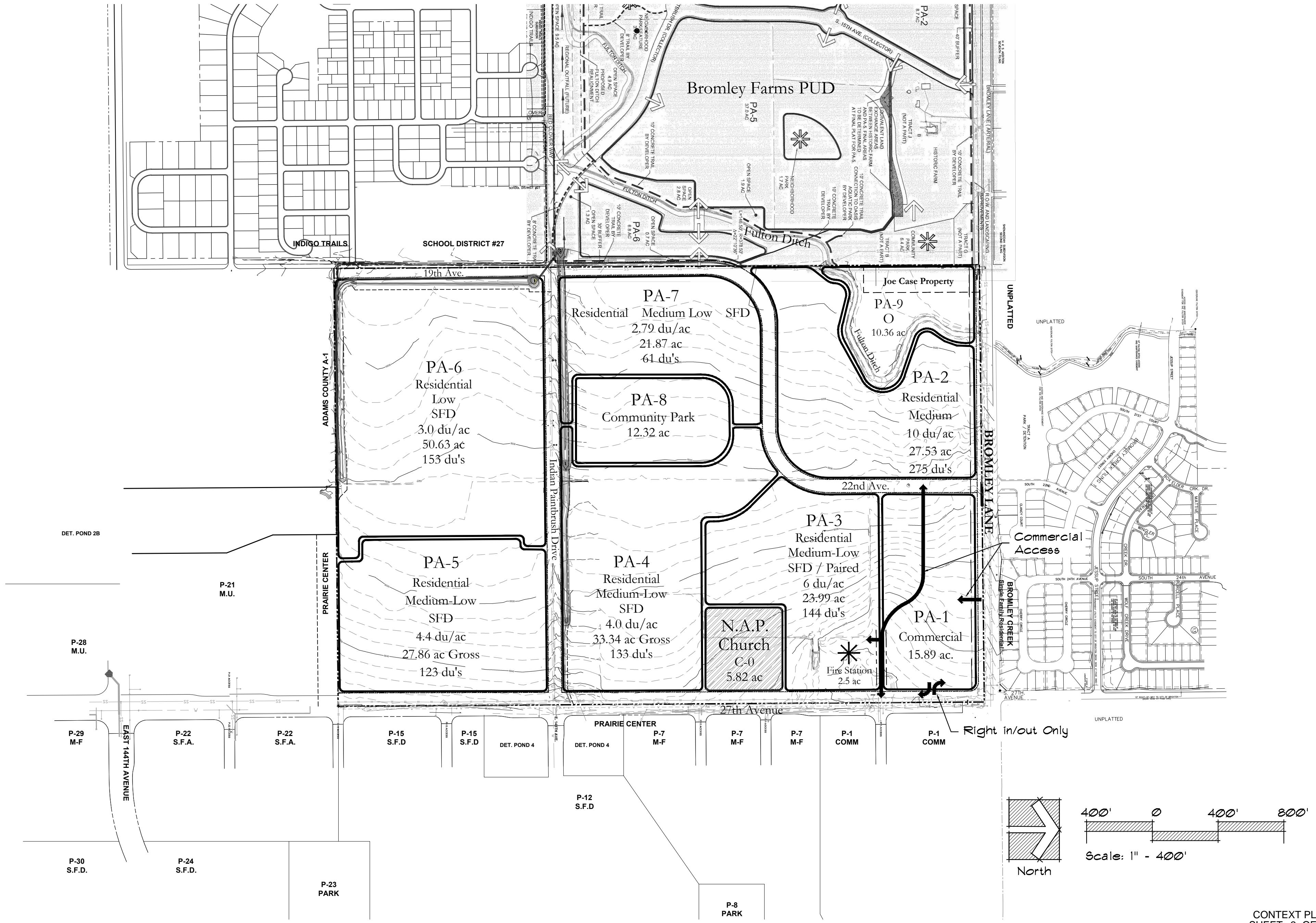
DATE: APRIL 24, 2015



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CONTEXT PLAN



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Case Farms P.U.D. - 2nd Amendment

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PUD PLAN

LEGEND

-----	PROPERTY BOUNDARY
-----	RIGHT OF WAY
-----	PLANNING AREA BOUNDARY
-----	10' TRAILS
-----	8' TRAILS
-----	6' SIDEWALKS
-----	DRAINAGE EASEMENT
	PARKS
	OPEN SPACE
	DETENTION & DRAINAGE

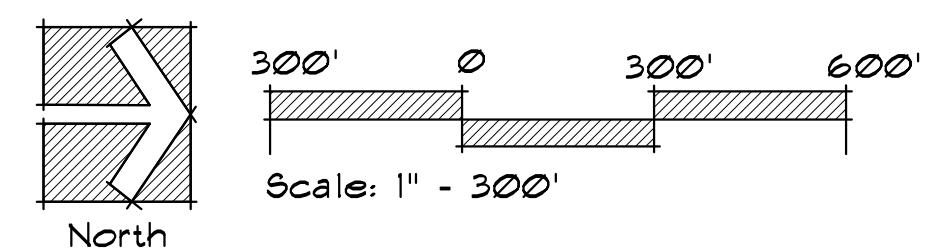
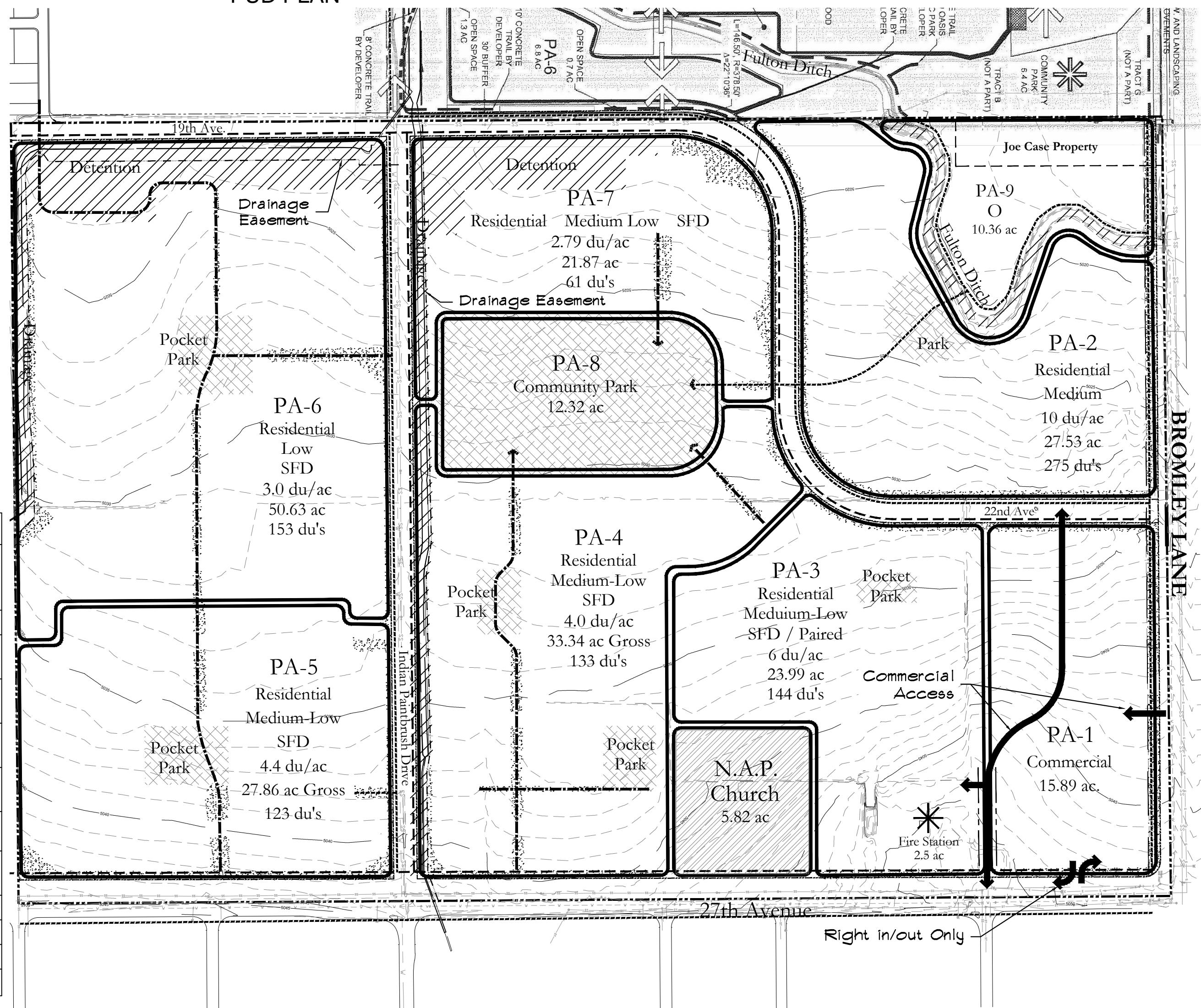
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DEVELOPMENT SUMMARY					
PLANNING AREA	NAME	AREA (ACRES)	# OF MAX. UNITS	USE	GROSS DENSITY
1	COMMERCIAL	15.89		COMMERCIAL	0.35:1 FAR
2	RESIDENTIAL MED/HIGH	21.53	275	SFD, SFA, MF	10 DU/AC
3	RESIDENTIAL MED/LOW	23.99	144	SFD/PAIRED	6.0 DU/AC
4	RESIDENTIAL MED/LOW	33.34	133	SFD	4.0 DU/AC
5	RESIDENTIAL MED/LOW	21.86	123	SFD	4.4 DU/AC
6	RESIDENTIAL LOW	50.63	153	SFD	3.0 DU/AC
7	RESIDENTIAL MED/LOW	21.87	61	SFD	2.79 DU/AC
8	PARK	12.32		PARK	
9	OPEN SPACE	10.36			
ROW		104.42		ROW	
	TOTAL	234.21	889		3.80 DU/AC



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I. STATEMENT OF PURPOSE & INTENT

The Case Farms Planned Unit Development (PUD) is a 234 acres mixed use community in the City of Brighton. It is envisioned as a distinctive mixed residential neighborhood connected by a comprehensive open space/trail network with a variety of recreational opportunities. A central community park is the focal point of the neighborhood with all open space and trail corridors connecting the residential areas to the park.

The PUD is intended to regulate the use of the land, the bulk, maximum height, minimum lot area, minimum lot width, minimum setbacks, uses permitted, accessory uses and buildings. It will also provide design controls associated with the design, siting and landscaping of the proposed uses. These design controls are intended to complement the City of Brighton's Residential and Commercial Design Standards.

In compliance with the general intent of the City of Brighton Comprehensive Plan, the Case Farms Planned Development provides the City with a coordinated and harmonious development which will best promote the health, safety, order, convenience, prosperity and general welfare of its residents. The PUD responds to the goals and policies of the City of Brighton Comprehensive Plan and is planned to ensure high quality development compatible with the surrounding land uses and the natural environment.

The following list outlines areas in which the community incorporates design elements that contribute to exceptional high quality design.

- A. Provide a comprehensive pedestrian network throughout the community connecting to offsite regional pedestrian corridors and including the following:
 1. Eight (8) foot wide internal trails located within open space tracts that provide connections between the residential areas, internal pocket parks and the Community Park;
 2. Ten (10) foot wide regional trail along the west side of the Fulton Ditch that will connect to the regional trail system;
 3. Continuation of the ten (10) foot concrete trail located within Bromley Farms PUD Park to the west. The trail will be located on the west and north side of 19th/22nd Avenue and located within a 30 foot wide open space corridor.
 4. Ten (10) foot wide sidewalk along Bromley Lane which connects to the regional system, and the waterpark and historical farm west of Case Farms.
 5. Six (6) foot wide concrete sidewalk along the west side of 27th Avenue.
 6. Six (6) foot wide concrete sidewalk along the internal collector streets except as otherwise specified.
 7. Ten (10) feet wide from the north and west side of the Fulton Ditch to the Community Park.
 8. Pedestrian trail bridge crossing of the Fulton Ditch to be constructed by the developer, his successor, and assigns; maintained by the HOA or Metro District.
- B. Incorporate significant landscape buffers along perimeter arterial and collector streets as follows:
 1. Forty (40) foot wide landscape buffer along the south side of Bromley Lane.
 2. Thirty (30) foot wide landscape buffer along 27th Avenue.
 3. Thirty (30) foot wide landscape buffer along the east and south side of 19th/22nd Avenue.
 4. 120 foot wide open space and drainage corridor adjacent to the school site within Indigo Trails neighborhood.
- C. Provide a variety of passive and active recreational opportunities throughout the community in the Neighborhood and Pocket Parks.
- D. ENERGY & WATER CONSERVATION / SUSTAINABILITY
All homes (SFD, SFA, Paired, MF) within Case Farms shall incorporate the following Energy and Water Conservation measures:
RESIDENTIAL
 - Energy Star rated appliances
 - Window and door ratings meeting current Energy Star for Homes
 - Stated furnace efficiency of greater than .78 to .95 AFUE
 - Stated water heater efficiency of between .675 and .82
 - Air conditioners with stated efficiency greater than or equal to 14 SEER

RESIDENTIAL CONTINUED

- Water Sense Shower heads and hand held showers with a flow rate of 2.0 GPM
- Lavatory faucets with a flow rate of 1.5 GPM or 60 PSI
- Water Sense Toilets with 1.28 GPF
- Dishwashers Energy Star labeled
- Rain sensors shall be installed as part of the irrigation system
- Dark Sky qualified exterior lighting with motion sensor controls or astronomic time-clock operation
- LED lighting shall be installed in street lights, common area lights and external lights on homes to reduce light pollution, promote energy conservation and ensure longevity of fixtures for homeowners.
- Insulation R-value meeting the requirements listed in the 2012 International Energy Conservation Code (IECC) or local code.
- Size HVAC systems in accordance with the Air Conditioning Contractors of America manuals parts J & S for energy efficiency

SUBDIVISION

- At the time of development, at least 50% of the building material waste shall be diverted away from landfills by the home builder through reuse and recycling.
- Common area landscaping shall utilize native seed or water wise turf such as a EnviroTurf, or Thermal Blue Texas Hybrid
- High water turf areas within private front and corner side (corner lots) yards shall be limited to no more than 50% of the landscape area.
- Rain sensors shall be installed as part of the irrigation system
- No invasive plant material shall be installed.
- Ongoing maintenance by the HOA or metro district shall be provided that practices water efficient applications, including fertilizers that do not demand additional water applications during the warm season.
- Drip irrigation shall be used for all non-turf areas.
- In common area landscaping, low water use plants shall compose majority of the plant palette with no individual plant requiring more than 15 inches of water per year.
- Implement EPA's Best Management Practices for erosion and sedimentation control during construction
- Cobble mulch shall be used in common area planting beds. An organic mulch ring shall be provided around each plant to aid in maintaining moisture.

II. STATEMENT OF PURPOSE AND INTENT

A. Approval of Plans

Upon approval of and adoption of this PUD by the City of Brighton City Council, this document shall become the governing zoning document for the development of all uses within the Case Farms. Any item not covered by these stipulations shall be governed by the City of Brighton Land Use and Development Code, including the City of Brighton Residential Design Standards and Commercial Design Standards.

B. Conflicts

The provisions of this PUD shall prevail and govern the development of the Case Farms PUD provided; however, where the provisions of the PUD do not clearly address a specific subject, the provisions of the City of Brighton Zoning Ordinance for the most similar Zone District shall apply, as determined by the Community Development Director or as set forth by the underlying zone districts, Section D below.

C. General Provisions

1. **Construction Standards:** Construction shall comply with applicable current building codes and all other codes establishing construction standards as adopted by the City of Brighton at the time of building permit issuance.
2. **Utility Connections:** Connection to public water and public sanitary sewage facilities shall be required for each principal building.
3. **Utility Service Extensions:** To be provided.
4. **Underground Utility Requirements:** All electrical and communication distribution and service lines shall be placed underground.
5. **Construction Trailers:** Temporary construction storage yards, construction trailers and offices are permitted during the construction/sales period only. The applicable permits are to be submitted to the City of Brighton for review and approval.
6. **Agricultural Uses:** Crop production and grazing are permitted until the commencement of construction within the Planning Area where the Agricultural activity is occurring.

7. **Sales Facilities:** Temporary sales trailers and model homes including sales centers are permitted in all residential and commercial Planning Areas. The applicable permits are to be submitted to the City of Brighton for review and approval.

D. Underlying Zone Districts

The underlying City of Brighton Zone Districts for each Planning Area is as follows:

PA-1: Commercial (C-3)	PA-6: Residential (R-1)
PA-2: Residential (R-2)	PA-7: Residential (R-1)
PA-3: Residential (R-1)	PA-8: Open Space and Parks (O)
PA-4: Residential (R-1)	PA-9: Open Space and Parks (O)
PA-5: Residential (R-1)	

E. Definitions (All terms as defined in the City of Brighton Land Use and Development Code shall apply to the terms herein unless otherwise defined below)

1. **Cluster/Garden Court Home:** A form of single family residential development whereas the dwelling units are grouped together to provide improved design, more efficient infrastructure, and more community open space. Typically cluster homes will access a common access drive or court. Garden court homes are clustered around a common garden and open space area which are shared by the homes on the garden court.
2. **Lot Width:** The horizontal distance between side lot lines as measured at the established front yard setback line.
3. **Multiple Family dwelling:** A building used exclusively for three (3) to twelve (12) families living independently in separate dwelling units, which may have a common building entrance and hallway and typically share common walls and are stacked flats. The dwellings may either be apartments or condominiums.
4. **Planning Area Gross Boundary:** Planning Area Gross Boundaries are fixed by the PUD Plan. Planning Area Boundaries are shown to the right-of-way of collector streets and arterial streets. The Planning Area acreages are calculated to the centerline of collector and local streets and to the ultimate right-of-way of arterial streets. When two Planning Areas abut one another, the area calculation is to the centerline between the two Planning Area boundaries. Density shall be computed based upon the Planning Area Gross Boundary including streets as defined above. Open space and pocket park areas are also identified and included in the Planning Area Gross Boundary and acreage.
5. **Single Family Attached Dwelling:** A dwelling with primary ground floor access to the outside which share a common wall with another unit without openings. Single Family Attached dwellings include paired homes and up to eight-unit attached buildings. The Single Family attached unit can be located on a fee simple lot (Townhomes) or a structure surrounded by common open space.
6. **Recreation Building:** A building designed as a common gathering area; pool cabana, storage and mechanical equipment; private recreational facilities; private clubhouse, community room and like items strictly for the use of the residents of the single family attached (SFA) or multi-family (MF) development. The recreation building is intended to be an accessory building and use to the primary use of SFA or MF.

III. GENERAL LOCATION AND LAND USE

A. Project Location and Surrounding Land Use:

The proposed community is located south of Bromley Lane, west of 27th Avenue, and is bisected by Indian Paintbrush Drive. Surrounding land uses include existing and proposed residential neighborhoods on the west and north. Prairie Center proposed mixed use development on the south and east and unincorporated Adams County residential along the western half of the southern boundary. A proposed school site is located west of 19th/22nd Avenue within the Indigo Trails neighborhood and the City's Waterpark is adjacent to the northwest corner of the site.

B. Project Access:

Primary access to the neighborhood is at 19th/22nd Avenue from Bromley Lane. Additional access is from Indian Paintbrush Drive and 19th/22nd Avenue.

NOTES

SHEET 4 OF 14

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CASE FARMS

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IV. DEVELOPMENT STANDARDS

1. Planning Area 1: COMMERCIAL

A. General Provisions

1. All requirements of the **C-3 - General Retail and Services** Zone District shall apply unless specified in Section C below. The Commercial Design Standards shall apply for future Final Development Plans.
2. Additional PUD Design Standards:
 - a. Intent: Located at the arterial/arterial intersection these sites are very visible and will anchor the overall Case Farms development. As such the design of the Commercial parcel is critical in establishing an overall character and quality of the community.
 - a. Provide a safe and pleasant pedestrian environment connected to the streets and walkway around the Commercial area with connections to the public open space system.
 - b. Provision for a pleasant visual environment incorporating high quality architectural materials, properly sized and positioned signage, and intensive landscaping with generous open spaces.
 - c. Create consistent landscape treatment on all edges.
 - d. Screen parking areas with landscaping.
 - e. Blend the development within the Commercial parcel with the adjacent residential parcels by pedestrian connections, four sided architectural treatment, landscaping and the integration of open space areas.
3. City of Brighton review and approval for Final Development Plan(s) (i.e., site specific plans) are required.
4. A minimum of 10% of gross land area is to be reserved for open space per the City Code.

B. Permitted Uses

In addition to the uses permitted by right listed below, uses that are allowed include the use by right, uses allowed in the City's C-3 Zone District. Any conditional use and special uses are subject to City approval pursuant to the applicable procedures set forth in the City's Land Use and Development Code, as amended from time to time.

C. Uses by Right

- All uses allowed as a Use-By-Right in the underlying City of Brighton C-3 Zone District, unless noted as prohibited in Section D below
- Research and Development Facilities; uses defined as investigative activities that a business chooses to conduct with the intention of making a discovery that can either lead to the development of new products or procedures, or to improve existing products or procedures. (Excluding animals and hazardous materials)
- Laboratory for Research and Testing (not including animals or hazardous materials)
- Mini-storage; May not front or have direct access from Bromley Lane. Design of the mini-storage area must demonstrate compatibility with adjacent land uses, provide enhanced landscaping, provide quality construction materials and meet the City's Commercial Design Standards. These must be demonstrated at the time of Final Development Plan (i.e. Site Specific Plans).

D. Prohibited Uses

The following uses are not permitted in the Commercial District (PA-1):

- Animal Shelter
- Kennel
- Gaming Facility
- Theater, Drive-In, Movie (outdoor)
- Pawnshop with outdoor storage
- Bail Bonds Business
- Funeral Home, Parlor (crematorium)
- Taxidermy
- Storage of Gases or Liquified Petroleum Gases
- Auction
- Landfill
- Large Vehicle Sale (greater than 1.5 tons)

E. Maximum Intensity

0.35:1 Floor Area Ratio (FAR)

F. Dimensional Standards:

- Minimum Building Setbacks as measured from adjacent Right-of-way (ROW):
Bromley Lane: 40 feet
Commercial Southside Street: 15 feet
19th/22nd Avenue: 30 feet
27th Avenue: 30 feet
- Minimum Building Setbacks as measured from internal lot lines
Front: 15 feet
Side: 10 feet
Corner Side: 10 feet (adjacent to private or public street)
Rear: 15 feet
Adjacent to parking area or private drive: 10 feet
- Minimum Distance between principal structures: 20 feet
- Maximum Building Height: 50 feet
- Parking Requirements: Per City of Brighton Standards
- Buildings, Landscaping greater than 36 inches in height, Fencing, and Signage may not encroach the City's Sight Distance Triangle Standards.

MINI-STORAGE



Enhanced Architecture Masonry Base

Enhanced Landscaping
Provides Additional Screen

Articulation of Building Elevation
Provides Variation in Scale and Massing

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Sheet 6 of 14

2. Planning Area 2: RESIDENTIAL - MEDIUM HIGH

A. General Provisions

- Residential Medium High is intended to accommodate single family attached dwellings from two to eight attached unit buildings; multiple family units up to 12 units per building or Cluster/Garden Court homes.
- Provide an ten (10) foot wide trail through the Planning Area connecting the Regional Trail along the Fulton Ditch to the Community Park.
- Open Space land dedication shall be provided for the trail corridor if the trail is placed within a 30 foot wide corridor.
- An enhanced 40 foot landscape buffer and 10' Regional Trail shall be provided along the frontage of Bromley Lane.
- Fencing along Bromley Lane shall be in accordance with City of Brighton Fence and Wall Standards as defined in the City of Brighton Residential Design Standards.
- City of Brighton review and approval for Final Development Plan(s) (ie., site specific plans) are required.

B. Use By Right

- All uses-by-right allowed in the R-1, R-1A, R-1B, and R-2 City of Brighton Zone Districts.
- Attached units placed on fee simple lots for individual sale.
- Attached units placed on a common lot.
- Detached cluster units on a common access drive or court or garden court homes (See definition and illustration).
- Multiple family units.
- Any conditional use and special uses are subject to City approval pursuant to the applicable procedures set forth in the City's Land Use and Development Code, as amended from time to time.

C. Accessory, Temporary and Conditional Uses

Shall be permitted as described in the Tabulation of Uses of the City of Brighton Zoning Code.

D. Maximum Gross Density: 10 Dwelling Units per Acre

E. Minimum Lot area:

- Per fee simple Townhome Lot: 1,000 SF
- Per dwelling unit on a common lot: 4,356 SF (10 DU/AC)

F. Minimum Building Separation: (SFA / MF When not on individual lots)

- Side to Side:

1-Story	10 feet
2 thru 3 Story	15 feet
- Side to Front or Back:

1-Story	15 feet
2 thru 3 Story	20 feet
- Front to Front:

1-Story	20 feet
2 thru 3 Story	25 feet
- Back to Back: 30 feet
- Front to Back: 40 feet (discouraged)
- Principal Structure to detached structure: 10 feet

G. Minimum Building Setbacks

- Arterial Street ROW: 40 feet
- Collector Street ROW: 30 feet
- Local Public Street ROW: 15 feet to structure (Covered porch may encroach into front setback a maximum of 5 feet)
18 feet from face of front loading garage to back of walk
- Parking areas and common private drives: 10 feet to structure (Covered porch may encroach into front setback a maximum of 4 feet)
- Alley load garage: 5 feet
- Fulton Ditch: 25 feet for buildings, parking areas and accessory structures including fence. (The setback/buffer area required shall be credited toward any open space dedication requirements.)

H. Minimum Town Home Building Setbacks from Individual Lot Lines

(with Intervening common open space to meet minimum building separation requirements)

- Attached lot line: 0 feet
- Side interior lot: 5 feet
- Side corner lot: 10 feet
- Front: 12 feet (Covered Porch may encroach into the front setback a maximum of 4 feet)
(18 feet to front loaded garage from back of walk)
- Rear: 15 feet (5 feet to alley loaded garage)
- Parking and Common Private Drives: 10 feet

I. Accessory Building Setbacks:

- Front: May not extend beyond the front or corner side building line
- Side: 3 feet
- Rear: 8 feet
- No structure shall be placed within easements.

J. Maximum Building Height:

- Primary structure: 35 feet; however 50% of the total number of buildings may have a height of 45 feet.
- Accessory structure or recreation building: 16 feet (no living unit allowed)

K. Maximum number of Attached units per Building:

- No more than 50% of the buildings within this Planning Area may have up to 8 units per single family attached building. All other buildings shall have 6 units per single family attached building or less.
- Multiple family units may have a maximum of 12 units per building and may include stacked flats.

L. Encroachments

- Architectural features including but not limited to eaves, bay windows, chimneys, entertainment centers, brick ledges, cantilevers, counterforts, cornices, canopies, wing walls and like architectural features may encroach into the required setbacks a maximum of 24 inches, unless the material is combustible or as allowed in the applicable Building Code.
- Unenclosed or uncovered patios less than 30 inches above grade may encroach into the rear and side yard building setback to within five (5) feet of a lot line.
- Encroachments may not extend into or over easements.

M. Single Family Detached - Garden Court Standards

(Also permitted in PA-3)

- Intent: Provide small lot single family detached homes clustered around common green courts and garden plots
- Single family detached lots shall front or side on a green court, garden plot or public street
- Each home shall have direct access via sidewalk to a green court or garden plot
- Vehicular access shall be from the adjacent alley or public street
- Minimum Lot Size: 2,000 square feet
- Building Setbacks as measured to lot line:

Front:	10 feet to main structure
	4 feet to porch
Side:	5 feet
Corner side:	10 feet
Rear on alley:	5 feet
- Encroachment per Item 'L' above
- Guest parking shall be provided in off-street lots or on the local public streets
- Maximum building height: 35 feet; 16 feet for accessory structures

N. Single Family Detached - Common Access Drive or Court

(Also permitted in PA-3)

- Intent: Provide single family detached lots on a common access drive or court with direct access to the adjacent public street.
- Court shall be a minimum of 26 feet wide.
- Minimum Lot size: 5,000 square feet

• Building Setbacks:

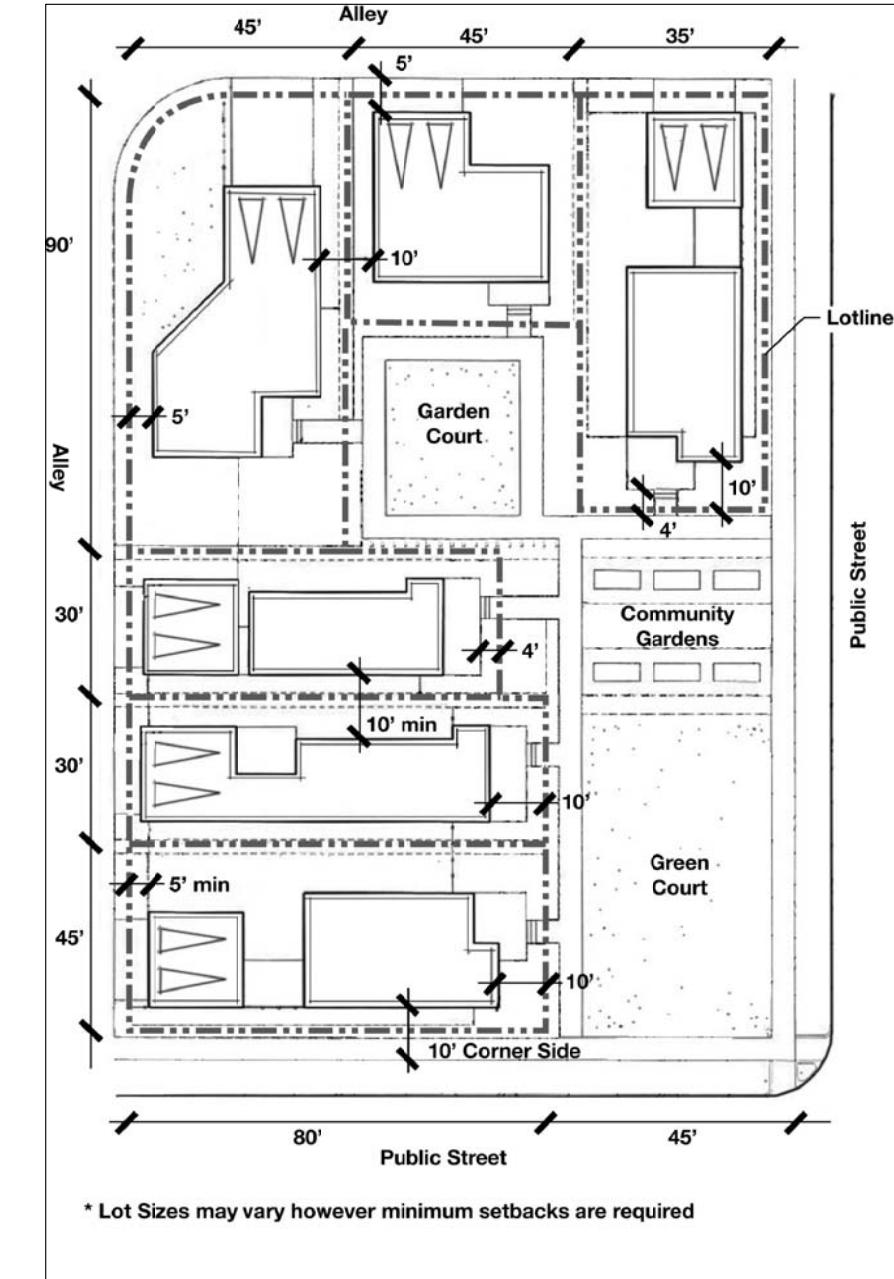
Front:	18 feet to face of garage from an access court
	16 feet to structure
	10 feet to porch
Side:	5 feet
Corner side:	10 feet
Rear:	15 feet

- Encroachments: Per item L. above
- Guest parking shall be provided in off-street lots or on the local public streets. A minimum of 2 guest spaces shall be provided on the access drive.
- Maximum building height: 35 feet; 16 feet for accessory structures.

SINGLE FAMILY ATTACHED HOMES



SINGLE FAMILY GARDEN COURT HOMES



* Lot Sizes may vary however minimum setbacks are required

3. Planning Areas 3, 4, 5, and 7: **RESIDENTIAL - MEDIUM LOW**

A. General Provisions

- Residential Medium-Low is intended to accommodate single family detached and paired homes. Paired homes are only allowed in PA-3.
- An enhanced landscape buffer shall be provided along the frontage of 27th Avenue and Indian Paintbrush Drive. The buffer shall be a minimum of 30 feet in width.
- Fencing along 27th Avenue and Indian Paintbrush Drive shall be in accordance with City of Brighton Fence and Wall Standards as defined in the City of Brighton Residential Design Standards. Fencing along open space, pocket parks and most drainage facilities shall be open rail. See Sheet 13.
- A 30' minimum width landscape buffer shall be provided between the rear lot line and 27th Avenue right-of-way and Collector Streets; therefore, eliminating double fronted lots.
- Lots adjacent to 27th Avenue shall be a minimum of 120 feet in depth, except where the fence indents eight (8) feet, then the lot shall be a minimum of 112 feet in depth.
- City of Brighton review and approval for Final Development Plan(s) (ie., site specific plans) are required.

B. Use By Right

- All uses-by-right allowed in the R-1, R-1A, and R-1B City of Brighton Zone District.
- Detached cluster units on a common access drive or court, paired homes or garden court homes are permitted in PA-3 only (See definitions, illustrations, and standards on sheets 6 & 7).
- Any conditional use and special uses are subject to City approval pursuant to the applicable procedures set forth in the City's Land Use and Development Code, as amended from time to time.
- Fire Station permitted in PA-3.

C. Accessory, Temporary and Conditional Uses

Shall be permitted as described in the current Tabulation of Uses of the City of Brighton Land Use Development Code at the time of application.

D. Maximum Gross Density:

- PA-3: 6 Dwelling Units per Acre
- PA-4 and PA-5: 4.5 Dwelling Units per Acre
- Setback requirements shall prevail over density allowances, the more restrictive allowance shall apply.

E. Minimum Lot Area:

- Single Family Detached Lot: 5,000 Square Feet
- Paired Home Lot: 2,000 Square Feet/Unit

F. Minimum Lot Width:

- Single Family Detached Lot: 50 feet on straight frontage; 35 feet on curved frontage or cul-de-sac
- Paired Home: 25 feet on straight frontage; 18 feet on curved frontage or cul-de-sac

G. Minimum Building Setbacks (As measured from Lot Line):

- Lots backing on 27th Avenue: 30 feet
- Collector Street ROW: 20 feet
- Front: 15 feet to structure (Covered porch may encroach into front setback a maximum of 5 feet), if considered to be a qualified porch per Residential Development Standards.
- 18 feet from face of front loading garage to back of walk
- Side: 5 feet from interior lot line
- Corner Side: 10 feet adjacent to public street
- 18 feet from face of garage door to back of walk
- 5 feet from open space tract or pocket park
- Corner setbacks must meet City Standards for sight triangles.
- Rear: 15 feet
- 5 feet for alley loaded garage

H. Accessory Building Setbacks:

- Front: May not extend beyond the front or corner side building line
- Side: 3 feet
- Rear: 8 feet
- Minimum setback between principal and accessory structures: 5 feet

I. Drainage Setback: 25 feet

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J. Maximum Building Height:

- Primary structure: 35 feet
- Accessory structure or recreation building: 16 feet (no living unit allowed)

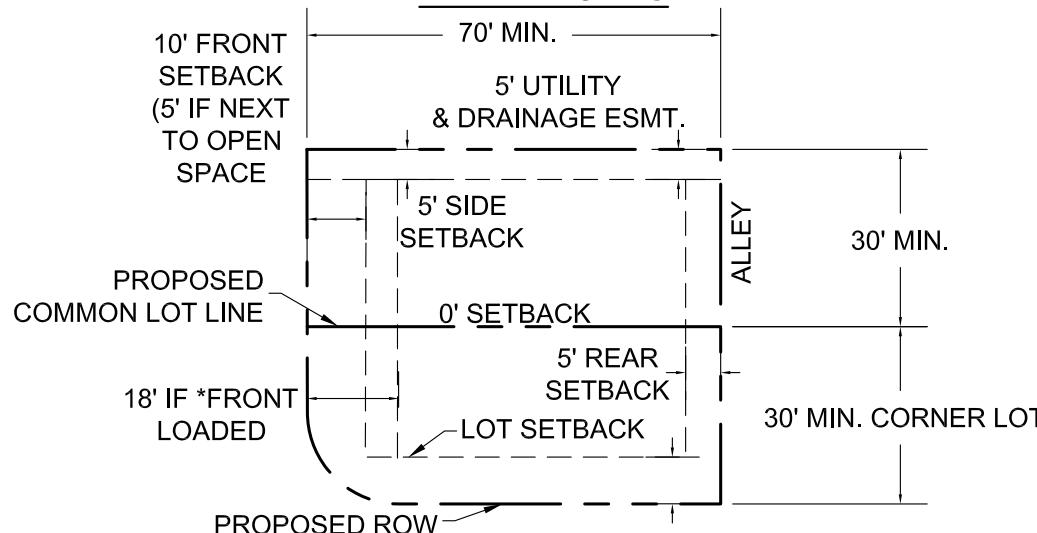
K. Encroachments

- Architectural features including but not limited to eaves, bay windows, chimneys, entertainment centers, brick ledges, cantilevers, counterforts, cornices, canopies, wing walls and like architectural features may encroach into the required setbacks a maximum of 24 inches.
- Unenclosed or uncovered patios less than 30 inches above grade may encroach into the rear and side yard building setback to within five (5) feet of a lot line.
- Encroachments may not extend into or over easements.

SINGLE FAMILY DETACHED HOMES



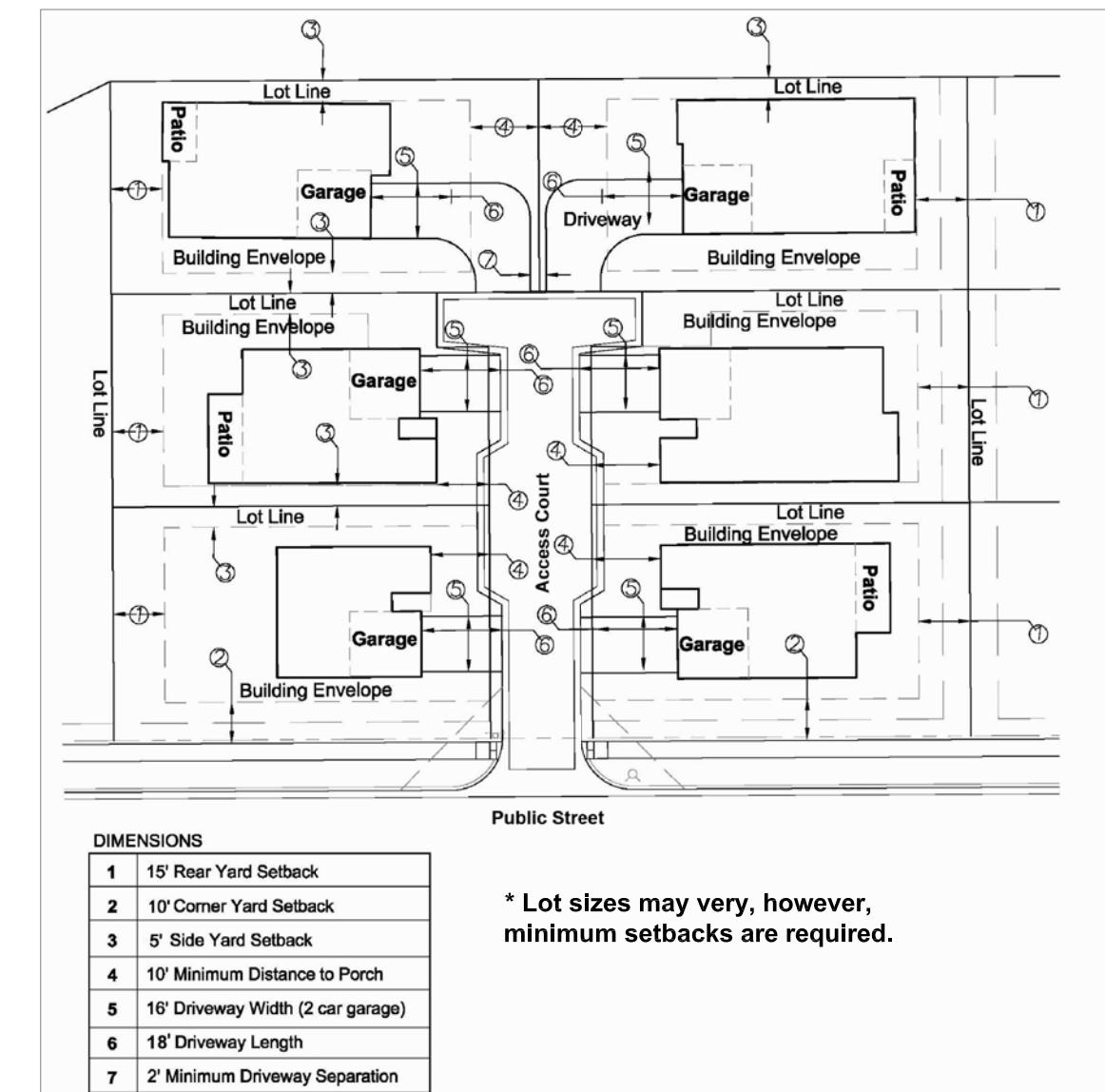
PAIRED HOMES



*LOT SIZES MAY VARY, HOWEVER, MINIMUM SETBACKS ARE REQUIRED.



SINGLE FAMILY COMMON ACCESS DRIVE OR COURT



Case Farms P.U.D. - 2nd Amendment

Sheet 8 of 14

4. Planning Areas 6: RESIDENTIAL - LOW

A. General Provisions

- Residential Low is intended to accommodate standard single family detached homes
- An enhanced landscape buffer shall be provided along the frontage of Indian Paintbrush Drive. The buffer shall be a minimum of 30 feet in width.
- Fencing along Indian Paintbrush Drive shall be in accordance with City of Brighton Fence and Wall Standards as defined in the City of Brighton Residential Design Standards. Fencing along open space, pocket parks and most drainage facilities shall be open rail. See Sheet 13.

B. Use By Right

- All uses-by-right allowed in the R-1 City of Brighton Zone District.
- Any conditional use and special uses are subject to City approval pursuant to the applicable procedures set forth in the City's Land Use and Development Code, as amended from time to time.

C. Accessory, Temporary and Conditional Uses

Shall be permitted as described in the Tabulation of Uses of the City of Brighton Zoning Code.

D. Maximum Gross Density: 3.5 Dwelling Units per Acre

E. Minimum Lot Area: 7,000 Square Feet

F. Minimum Lot Width:

- 65 feet on straight frontage
- 40 feet on curved frontage or cul-de-sac
- 70 feet on corner lots

G. Minimum Building Setbacks (As measure from Lot Line):

- Collector Street ROW: 20 feet
- Front: 15 feet to structure (Covered porch may encroach into front setback a maximum of 5 feet)
20 feet from face of front loading garage to back of walk
- Side: 7 feet from interior lot
- Corner Side: 14 feet adjacent to public street
20 feet from face of garage door to back of walk
5 feet from open space tract or pocket park
- Rear: 20 feet
5 feet for alley loaded garage

H. Accessory Building Setbacks:

- Front: May not extend beyond the front or corner side building line
- Side: 3 feet
- Rear: 8 feet
- Minimum setback between principal and accessory structures: 5 feet

I. Drainage Setback: 25 feet

J. Maximum Building Height:

- Primary structure: 35 feet
- Accessory structure or recreation building: 25 feet

K. Encroachments

- Architectural features including but not limited to eaves, bay windows, chimneys, entertainment centers, brick ledges, cantilevers, counterforts, cornices, canopies, wing walls and like architectural features may encroach into the required setbacks a maximum of 24 inches.
- Unenclosed or uncovered patios less than 30 inches above grade may encroach into the rear and side yard building setback to within five (5) feet of a lot line.
- Encroachments may not extend into or over easements.

SINGLE FAMILY RESIDENTIAL LOW



5. Planning Areas 7, 8 and 9: PARKS, OPEN SPACE & NEIGHBORHOOD FEATURE

These Planning Areas are to be developed for their intended use only and in accordance with all City of Brighton requirements. All requirements of the **O-Open Space and Parks** Zone District shall apply with the following additions.

- Park permitted structures may include shade or picnic structures, pool/pool houses, club houses, rest rooms, trash enclosures, maintenance facilities, bridges, play structures, pavilions, concession stand, portable restroom enclosure, bleachers, dug outs, band shell, and similar type uses for recreational purposes.
- Open Space and the Neighborhood Feature are intended to provide passive open space, a public gathering place, and community identity. The following uses are intended and permitted within the Open Space areas & Neighborhood Feature areas:
 - Passive park uses and open space
 - Regional trail with trail head and parking area
 - Water bodies (water storage and expansion of active water recreational activities)

V. GENERAL PUD STIPULATIONS AND DESIGN STANDARDS

- Adjacent to Fulton Ditch and drainage channels, a minimum setback of 25 feet from the top of the bank shall be required.
- Accessible Housing shall be provided in accordance with section 17-44-300 of the RDS and State and Federal Regulations.
- Street Standards: All collector and arterial streets and trails shall meet the City of Brighton standards. An alternative is proposed for the local streets as indicated on the attached cross-section. The intent is to reduce the street pavement width.
- Local streets are proposed to have attached sidewalks. Collector and arterial streets shall have detached sidewalks.
- Tree lawns along the collector streets and adjacent to the commercial, single family attached or park areas shall be maintained by the HOA.
- Pocket parks of less than three acres shall be owned by the City of Brighton and maintained by the HOA or Metro District.
- The 12.32 acre Community Park shall be designed, installed and maintained by the City of Brighton. The Community Park shall be dedicated to the City of Brighton with the first Final Plat. 4.43 acres provided in PA-8 exceeds the Community Park requirement for Case Farms and shall be applied to the Neighborhood Park requirement. The Community Park acreage to be dedicated is 12.32 acres. The Neighborhood/Pocket Parks shall be designed, installed and maintained by the developer, his successors and assigns or metro district.
- Open space corridors shall be owned and maintained by the HOA or Metro District.
- On-site storm water detention serving Case Farms shall be owned and maintained by the HOA or Metro District.
- All park and open space dedications shall occur at the time of Final Plat. The dedications shall be on a community wide basis, based on the PUD Plan and final dwelling unit count at time of Final Plat. However, each Final Plat does not need to stand alone in meeting open space and park land dedication requirements. Park and open space land dedication requirements shall be defined for each application, whether it be within the application, satisfied by previous applications; or as to be provided as indicated on this PUD. A summary of proposed and completed dedications shall be provided with each Final Plat or Final Development Plan application for tracking purposes. To assist with ensuring that adequate parks and open space are provided per Plat, the Community Park shall be dedicated with the first Final Plat.
- The PA-1 (PUD) and PA-2 (PUD) areas must provide internal open space as required by City of Brighton's requirements. Public parks located within these areas may be credited toward the park and open space requirements for Case Farms.

- All building plans shall be approved by the City of Brighton Planning Department prior to the issuance of building permits.

Fencing is proposed as follows:

- Open rail fencing between lots and all parks and open spaces.
- Privacy fencing is permitted at side and rear yards of the single family lots.
- Fencing, if proposed, along Bromley Lane shall be open rail or metal pickets.
- Fencing along 27th Avenue shall be either open rail or privacy fence and designed and located in accordance with City of Brighton Regulations. See Sheet 13.

- Entry Signage and Monumentation shall be identified at the time of Preliminary Plat or Site Plan. It is anticipated that the primary entry monument will be at the access point of 22nd Avenue and Bromley Lane. Secondary entry monuments may be located at the entries to the neighborhood at Indian Paintbrush Drive. All signage shall comply with City of Brighton Standards.
- Planning Area 1, the Commercial Area, shall develop a sign program at the time of Final Development Plan.

VI. SINGLE FAMILY RESIDENTIAL DESIGN STANDARDS

- All residential development shall meet Residential Development Standards, unless specified otherwise in this P.U.D. Amendment.
- Each filing shall offer at least four (4) distinctively different home models distinctively different floor plans. Mirror images of the same home model elevation shall not count as two distinctively different models.
- At least 50% of the homes in each filing shall have an area equivalent to at least 25% of the front facade elevation (not including windows and door areas and related trim areas) clad in brick, stone, manufactured stone-like materials, stucco or other approved masonry materials.
- At least 40% of the homes within Case Farms shall incorporate a covered front porch which is a minimum of six (6) feet in depth with a minimum size of 60 square feet.
- At least 25% of all street facing garages shall be recessed a minimum of 4 feet behind the front facade of the structure or covered porch. An additional 25% of all street facing garages shall be recessed a minimum of 2 feet behind the front facade of the structure or covered porch.
- Garage doors shall not comprise more than 47% of the principal dwelling for a two car garage and 55% for three car garages for dwellings on lots with a minimum size of 7,000 square feet. Garage doors shall not comprise of more than 55% of the principal dwelling for a two car garage for dwellings on lots with a minimum size of 5,000 square feet.

VII. SINGLE FAMILY ATTACHED RESIDENTIAL DESIGN STANDARDS

- All residential development shall meet Residential Development Standards, unless specified otherwise in this P.U.D. Amendment.
- Primary entries shall face a public street, private drive or common open space corridor.
- Single family attached areas shall have one through public or private access drive that is continuous through the site with a detached sidewalk and tree lawn.
- Each single family attached building shall have at least 35% masonry on the front elevation and side or rear elevation visible from Bromley Lane, 19th/22nd Avenue, and 27th Avenue, in addition to the Residential Development Standards minimum requirements.
- PA-2 Single Family Attached dwellings shall incorporate two of the following recreational amenities:
 - Swimming Pool
 - Resident Clubhouse
 - Playground with equipment (minimum size 500 Square feet)
 - Sport court
 - Picnic area
 - One recreational feature such as volleyball, horse shoes, bocce ball
 - Passive seating area with shelter and gardens

Quality Enhancement Standards:

In addition to the six (6) Single family Quality Enhancements required by the City of Brighton's Residential Design Guidelines, the following shall apply:

- One additional Quality Enhancement.

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Owner
Clarke Carlson
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DATE: APRIL 24, 2015

Case Farms P.U.D. - 2nd Amendment

Sheet 9 of 14

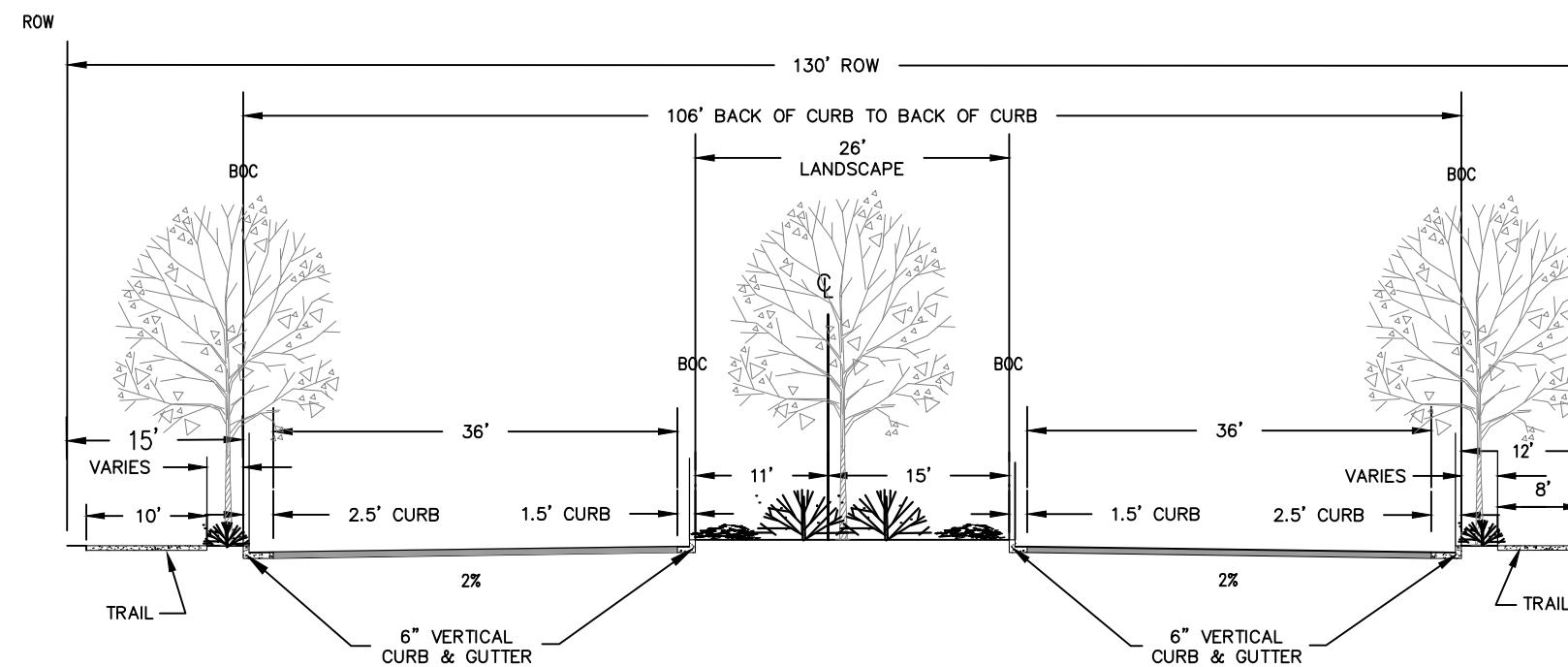
STREET CROSS SECTIONS

Engineer
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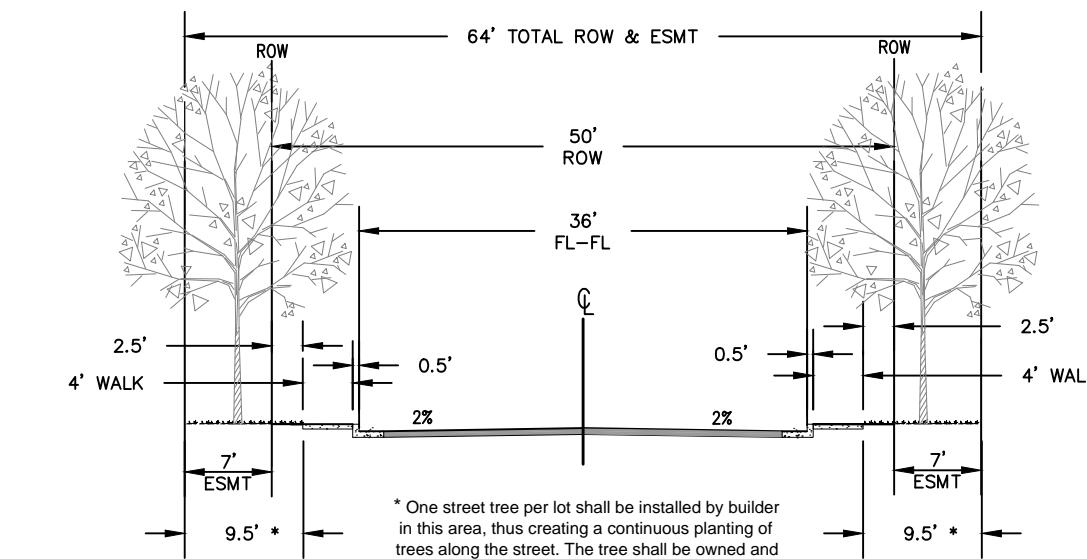
Planner
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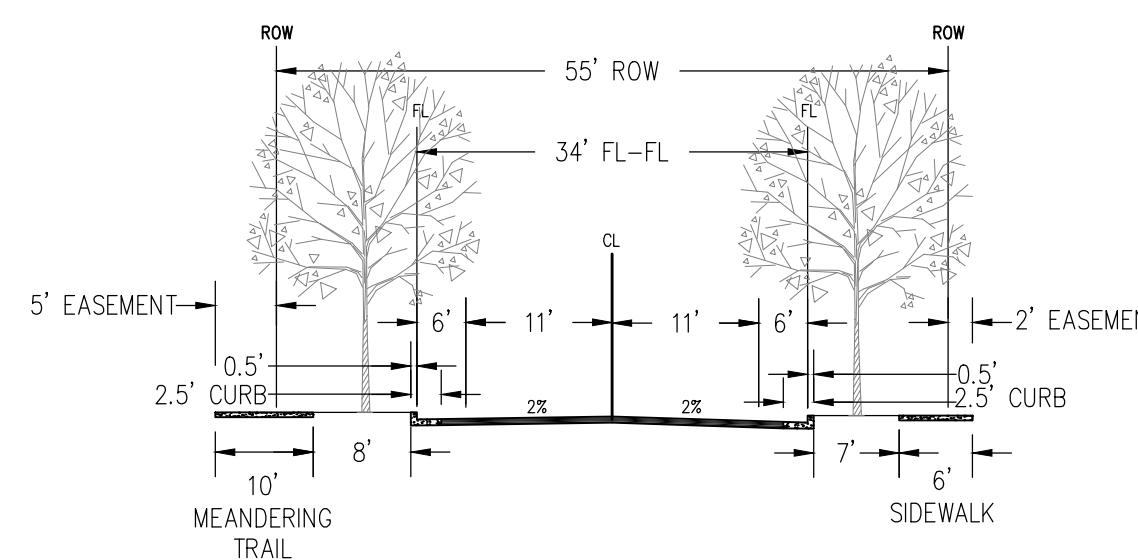
DATE: APRIL 24, 2015



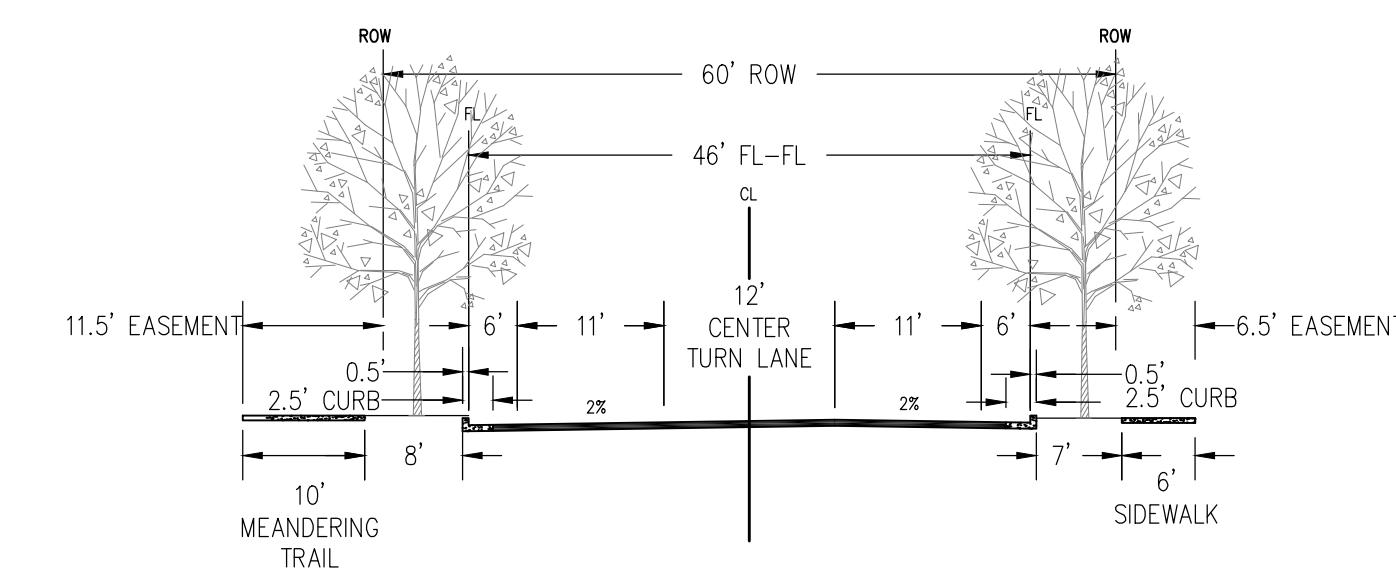
DETAIL A
MAJOR ARTERIAL STREET
27th AVENUE & BROMLEY LANE



DETAIL B
LOCAL STREET
WITH ATTACHED SIDEWALKS



DETAIL C
COLLECTOR STREET
INDIAN PAINTBRUSH DRIVE
(NO PARKING)



DETAIL D
COLLECTOR STREET ENTRY
INDIAN PAINTBRUSH DR. at 27th. & 19th AVENUE
(NO PARKING/CENTER LANE)

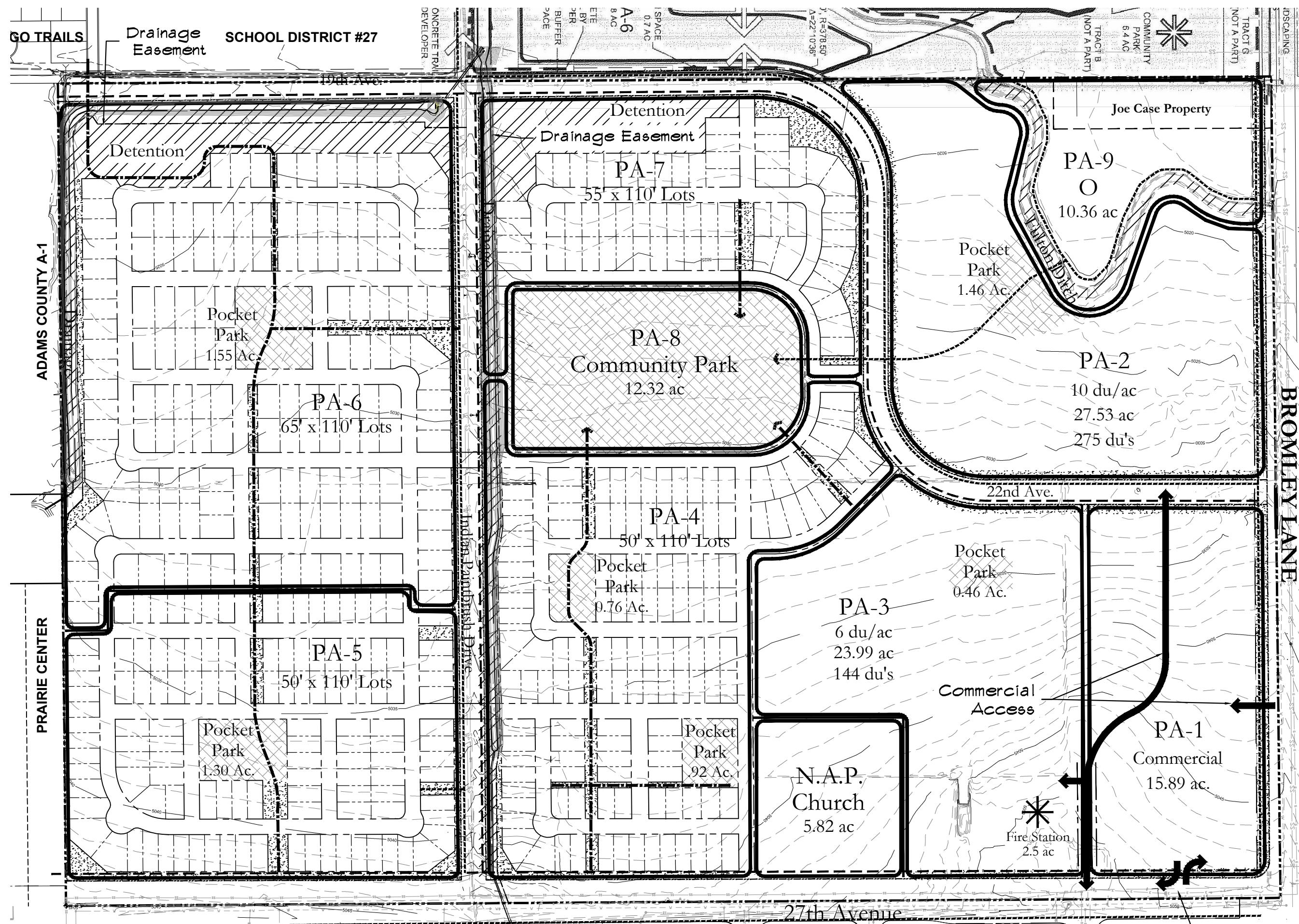
LEGEND

- PROPERTY BOUNDARY
- RIGHT OF WAY
- 10' TRAILS
- 8' TRAILS
- 6' SIDEWALKS

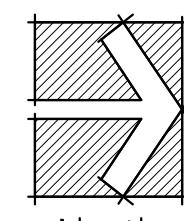
Case Farms P.U.D. - 2nd Amendment

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ILLUSTRATIVE SITE PLAN



Disclaimer: Lot line layout is conceptual only. The Final Plat will indicate final lot and road layout for the subdivision.



300' 0' 300' 600'
Scale: 1" - 300'

LOT SIZE VARIATION CHART

Lot size	5,500-5,999 SF	6000 -6499 SF	6,500-6,999 SF	7,000-7,499 SF	7,500-7,999 SF	8,000 – 8,499 SF	8,500 + SF	Total Lots
PA-3	To be determined							
PA-4	92	33		2		2	4	133
PA-5	78	38	2				6	124
PA-6				111	22	4	16	153
PA-7	52		6			1	2	61
Total	222	71	8	113	22	7	28	471
% SFD	47.1 %	15.1 %	1.7 %	24.0 %	4.7 %	1.5 %	5.9 %	
% DU	25.0 %	8.0 %	.9 %	12.7 %	2.5 %	.8 %	3.1 %	
Total SFD Lots:	471							
Total Proposed DU's:	889							

DATE: APRIL 24, 2015

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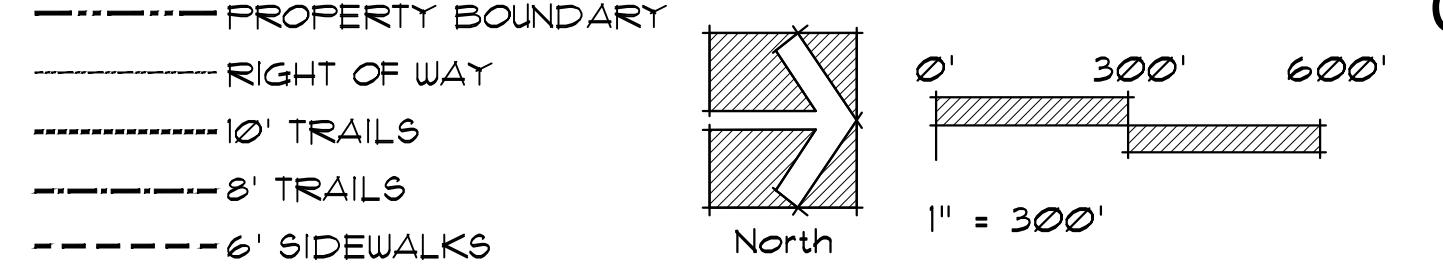
Owner
Clarke Carlson
12460 1st Street
Eastlake, Colorado 80614



SITE PLAN NOTES:

- This Illustrative Site Plan is intended to be conceptual in nature to illustrate design intent. It is not intended to imply that the plan has been reviewed and approved by the City of Brighton. The final design of each Planning Area or phase of development will be based on market conditions as well as the review and approval by the City of Brighton at the time Final Plat. All design shall be in accordance with the City of Brighton's Standards and Specifications, and applicable Building and Fire Code Regulations.
- Zoning and land use shall be in accordance with this PUD Amendment for all planning areas.
- Final road configurations, access points and lotting configuration shall be determined at the time of Final Plat.
- Park and open space dedication will be based on the total number of dwelling units determined at time of Final Plat.
- Lot depth in combination with the landscape buffer along 27th Avenue shall be a minimum of 150 feet in depth as measured to the edge of right-of-way. Eight (8) foot deep indents in the fence are proposed along 27th Avenue in accordance with the Residential Design Standards. Although not shown in detail on the Illustrative Site Plan (Sheet 10), Conceptual Landscape Plan (Sheet 11) or Park and Open Space Plan (Sheet 12), the intent is that the lot line jogs with the fence line such that the lot line and fence line are the same as illustrated on the Fencing Plan. Additionally, the lot lines shall vary with the fence line along collector streets as indicated on the Fencing Plan. The lot depth variation and fence jog locations shall be indicated on future platting applications.

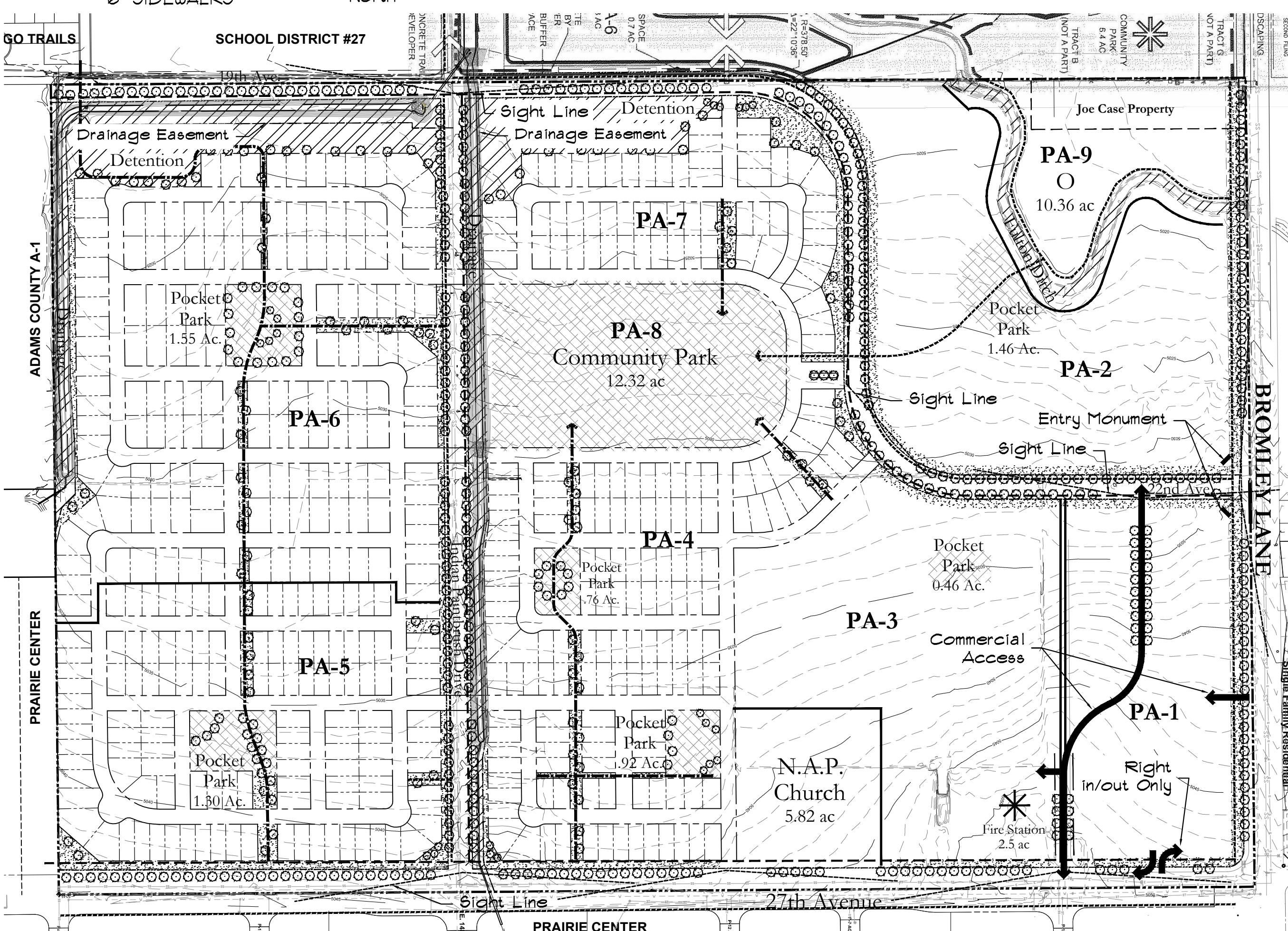
LEGEND	
PROPERTY BOUNDARY	
RIGHT OF WAY	
10' TRAILS	
8' TRAILS	
6' SIDEWALKS	



Case Farms P.U.D. - 2nd Amendment

Sheet 11 of 14

CONCEPTUAL LANDSCAPE PLAN



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Owner
Clarke Carlson
12460 1st Street
Eastlake, Colorado 80614

DATE: APRIL 24, 2015

NOTES:

1. The intent is to provide a themed community that is enhanced by all design elements and amenities. The theme is to be representative of the heritage and history of the Case Farms site as a dairy farm, incorporated into site furnishings, park amenities, features along open space/trail corridors, fencing, and entry monumentation.
2. The design intent of the landscape plan is to provide a unified landscape theme throughout the community. The landscaping shall utilize water conservation measures and incorporate indigenous plant materials. All landscape areas shall incorporate a combination of shrubs, trees and ornamental grasses with four season interest. Parks and open space trail corridors shall be more manicured in nature, however, the incorporation of xeric landscaping and native grasses where appropriate is encouraged to reduce water demand. Enhanced landscaping is encouraged at entries to aid interest and to highlight entry to the neighborhood.
3. All trail sections shall be maintained by the HOA or Metro District.

Disclaimer: Lot line layout is conceptual only. The Final Plat will indicate final lot and road layout for the subdivision.

SUGGESTED PLANT LIST

DECIDUOUS TREES

Quantity	Symbol	Botanic Name	Common Name	Water Use
-	AL	Tilia americana	American Linden	Low
-	BO	Quercus macrocarpa	Bur Oak	Low
-	CH	Celtis occidentalis	Western Hackberry	Medium
-	CP	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	Medium
-	EO	Quercus robur	English Oak	Low
-	GRT	Koelreuteria paniculata	Golden Raintree	Medium
-	IH	Gleditsia triacanthos inermis 'Imperial'	Imperial Honeylocust	Medium
-	JTL	Syringa reticulata	Japanese Tree Lilac	Medium
-	KC	Gymnocladus dioica	Kentucky Coffeetree	Medium
-	RBC	Malus x 'Red Baron'	Red Baron Crabapple	Medium
-	TCH	Crataegus crus-galli var. inermis	Thornless Cockspur Hawthorn	Low

EVERGREEN TREES

-	AP	Pinus nigra	Austrian Pine	Low
-	CBS	Picea pungens	Colorado Blue Spruce	Medium
-	BP	Pinus heldreichii	Bosnian Pine	Medium
-	PP	Pinus ponderosa	Ponderosa Pine	Low

DECIDUOUS SHRUBS

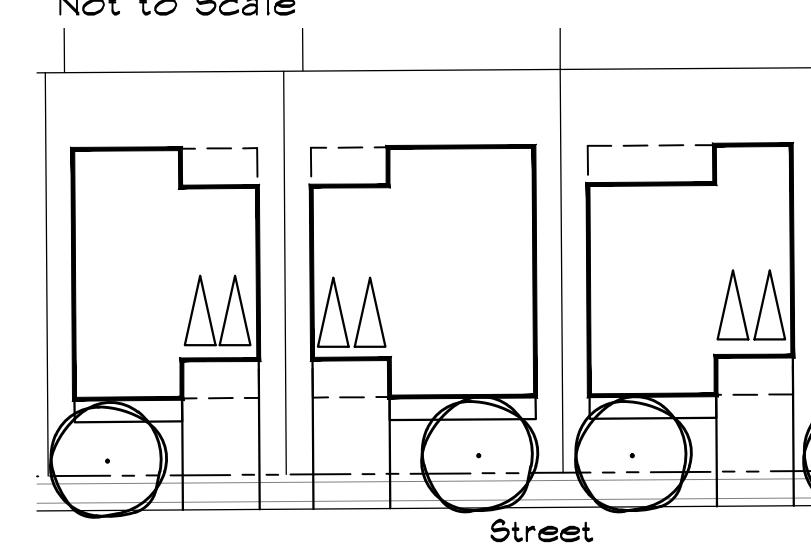
-	AC	Ribes alpinum	Alpine Currant	Low
-	BMS	Caryopteris x clandonensis 'Blue Mist'	Blue Mist Spirea	Low
-	CSC	Prunus besseyi "Pawnee Buttes"	Creeping Western Sand Cherry	Low
-	DN	Physocarpus opulifolius 'Nanus'	Dwarf Ninebark	Medium
-	ECB	Berberis x Emerald Carousel	Emerald Carousel Barberry	Medium
-	GLS	Rhus aromatica 'Gro-Low'	Dwarf Fragrant Sumac	Low
-	GMC	Ribes alpinum 'Green Mound'	Green Mound Currant	Low
-	KOR	Rosa x Knock Out	Knockout Rose	Low
-	MKL	Syringa patula 'Miss Kim'	Miss Kim Lilac	Medium
-	RS	Perovskia atriplicifolia	Russian Sage	Medium
-	SC	Cotoneaster divaricatus	Spreading Cotoneaster	Medium
-	SGB	Cytisus pergans 'Spanish Gold'	Spanish Gold Broom	Low
-	SS	Amerlanchier alnifolia	Saskatoon Serviceberry	Medium
-	TBB	Euonymus nana Turkestanicus	Turkestan Burning Bush	Low
-	YTD	Cornus stolonifera 'Flaviramea'	Yellow Twig Dogwood	Medium

EVERGREEN SHRUBS

-	AJ	Juniperus communis 'Alpine Carpet'	Alpine Carpet Juniper	Low
-	BHJ	Juniperus horizontalis 'Bar harbour'	Bar Harbour Juniper	Low
-	SGJ	Juniperus x pfitzeriana 'Sea Green'	Sea Green Juniper	Low
-	TJ	Juniperus sabina 'Tamariscifolia'	Tammy Juniper	Low

ORNAMENTAL GRASSES

-	KFG	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	Low
-	MLM	Miscanthus sinensis 'Morning Light'	Morning Light Maiden Grass	Low
-	VMG	Miscanthus sinensis 'Variegatus'	Variegated Maiden Grass	Low



For each SFD and paired home, one deciduous tree shall be placed within 9.5' of sidewalk edge and outside of easements. Thus, creating a continuous planting of trees along the street.

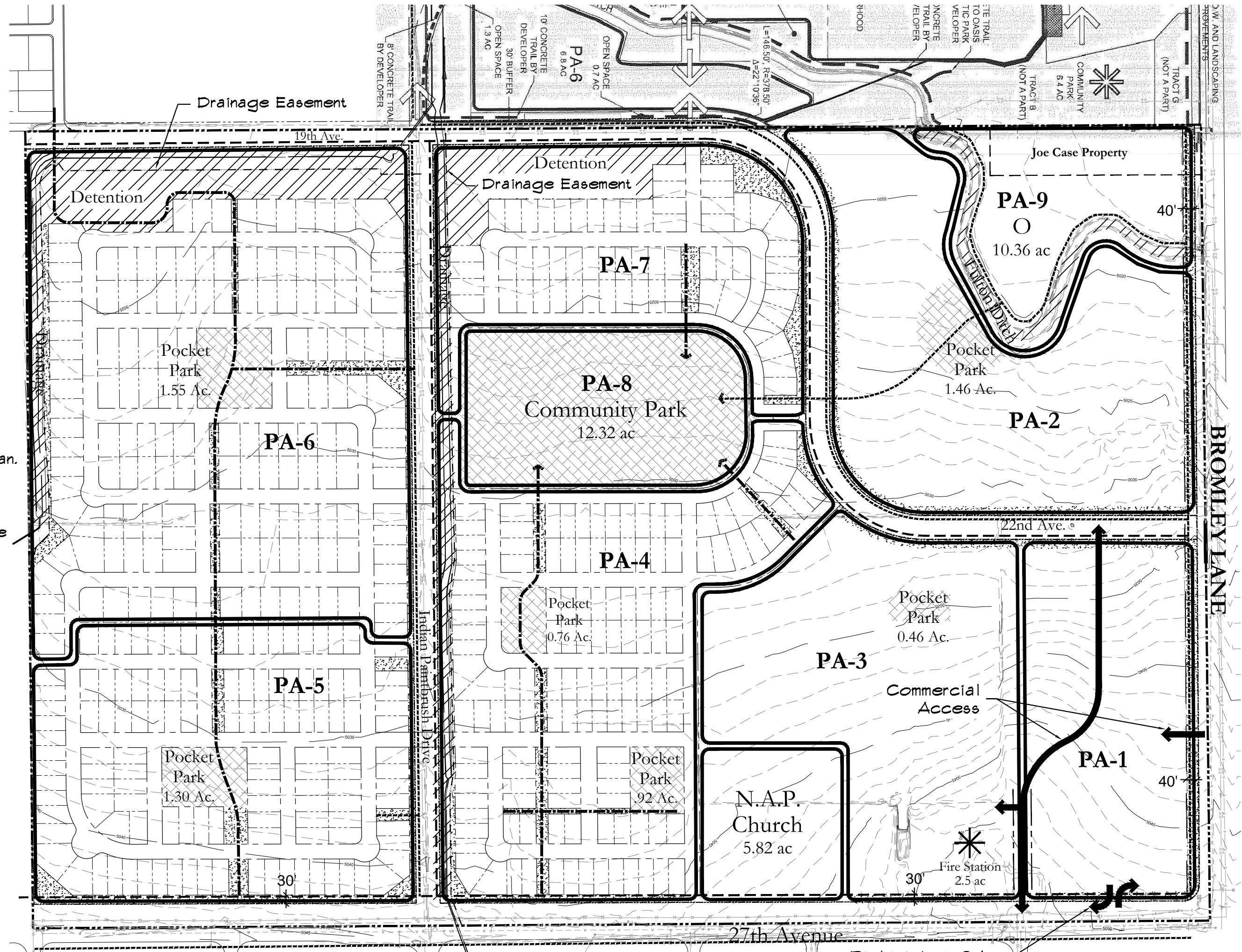
LEGEND



Case Farms P.U.D. - 2nd Amendment

Sheet 12 of 14

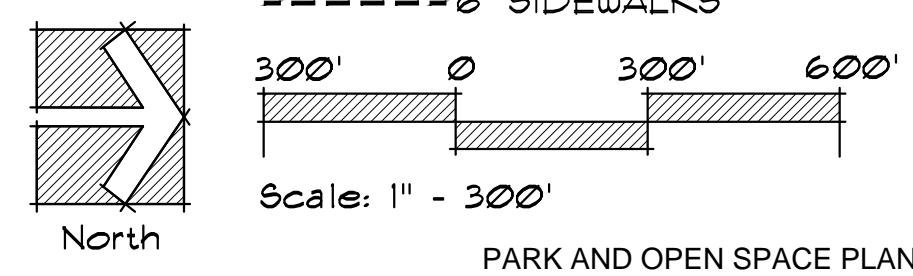
PARK & OPEN SPACE PLAN



Disclaimer: Lot line layout is conceptual only. The Final Plat will indicate final lot and road layout for the subdivision.

NOTES:

1. All park and open space dedications shall occur at the time of Final Plat. The dedications shall be on a community wide basis based on the PUD Plan and final dwelling unit count at time of Final Plat. However, each Final Plat does not need to stand alone in meeting open space and park land dedication requirements. Park land dedication requirements shall be defined for each application, whether it be within the application, satisfied by previous applications; or as to be provided as indicated on this PUD. A summary of proposed and completed dedications shall be provided with each Final Plat or Final Development Plan application for tracking purposes.



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Owner
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DATE: APRIL 24, 2015

PARKS & OPEN SPACE ACREAGE					
PLANNING AREA	COMMUNITY PARKS	PARKS	OPEN SPACE	DETENTION / DRAINAGE (NO CREDIT)	BUFFER
1	0	0	0*	0	2.15
2	0	1.46**	0	0	2.62
3	0	0.46	0	0	1.25
4	0	1.68	1.03	2.54	1.04
5	0	1.30	0.93	0	1.51
6	0	1.55	1.06	1.12	0.97
7	0	0	0.30	4.79	1.42
8	7.89	4.43***	0	0	0
9	0	0	6.57****	0	0.44
Drainage Easements (above 100yr flood plain)				7.17	
TOTAL	7.89	10.88	9.89	22.82	11.40

* 10% open space required to be determined at time of Final Development Plan.

** Recreational Amenity required as stated in No. VII on Sheet 8.

*** 4.43 acres provided in PA-8 exceeds the Community Park requirement for Case Farms and shall be applied to the Neighborhood Park requirement. The Community Park acreage to be dedicated is 12.32 acres.

**** PA-9 Total = 10.36 acres

Joe Case Property = 2.386 acres

Ditch Corridor = 1.40 acres

Net Open Space = 6.574 acres

REQUIRED PARKS:

$$889 \text{ DU's} \times 2.96 \text{ P/DU} / 1000 \times 6 \text{ AC} = 15.79 \text{ ACRES}$$

PROVIDED PARKS:

COMMUNITY PARK: 7.89 ACRES
NEIGHBORHOOD PARKS: 10.88 ACRES
TOTAL: 18.77 ACRES

REQUIRED OPEN SPACE:

$$889 \text{ DU's} \times 2.96 \text{ P/DU} / 1000 \times 15 \text{ AC} = 39.47 \text{ ACRES}$$

OPEN SPACE PROVIDED:

JOE CASE: 8.125 ACRES (CREDIT)
NW CORNER: ***6.574 ACRES
BUFFERS AND OS/TRAIL CORRIDORS: 20.35 ACRES
TOTAL: 35.049 ACRES
(Apply 2.98 excess park acreage towards the 4.42 acreage shortage in open space.)

The remainder of the open space land dedication shortage, whether to be provided via land or fee-in-lieu, shall be determined at the time of the development agreement.

*** Does not include 2.386 acre Joe Case Property (located at the northwest corner of the project) or the 1.40 acre Fulton Ditch drainage corridor (top of sloped embankment).

Case Farms P.U.D. - 2nd Amendment

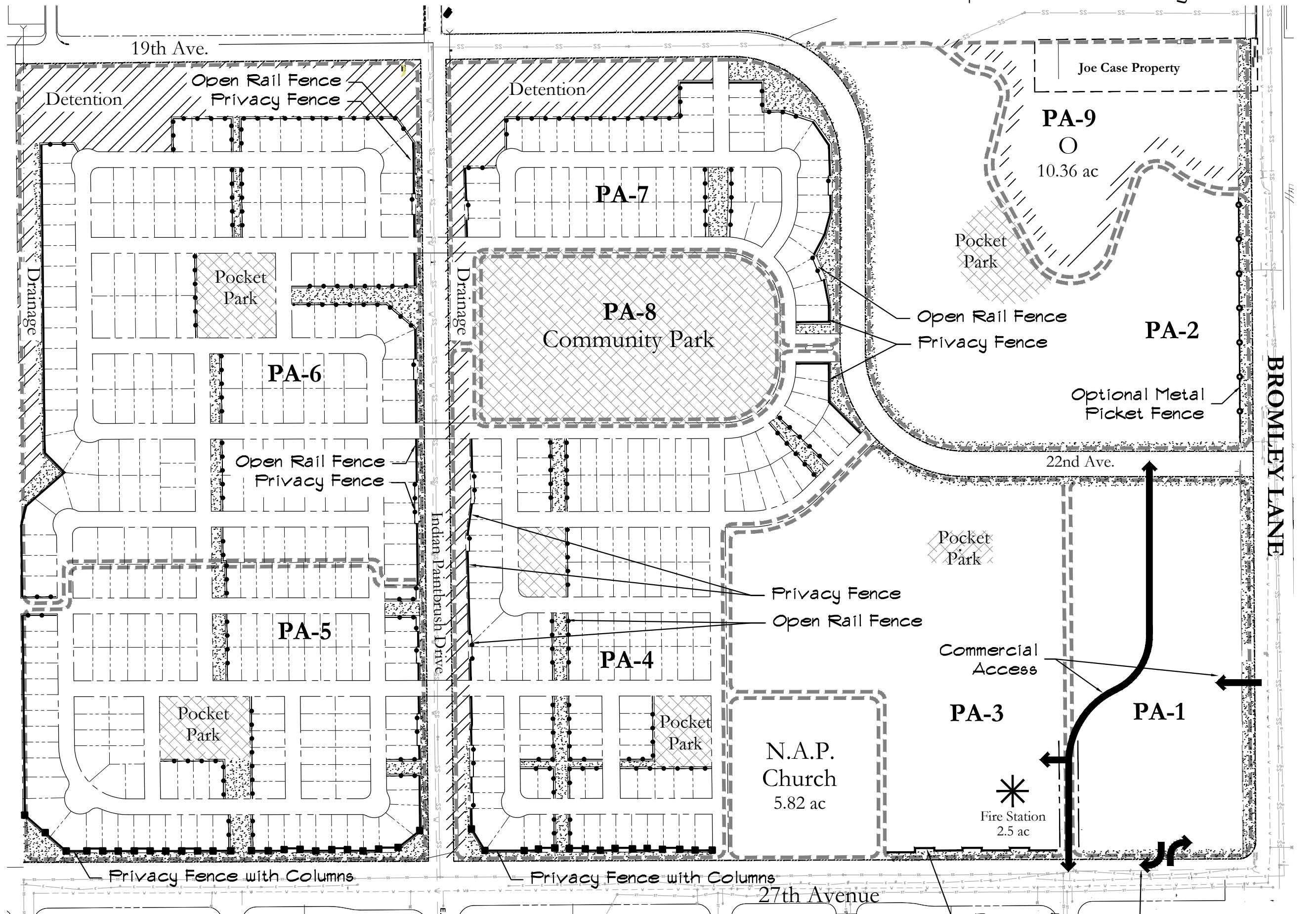
Sheet 13 of 14

Notes:

1. Lot depth in combination with the landscape buffer along 27th Avenue shall be a minimum of 150 feet in depth as measured to the edge of right-of-way. Eight (8) foot deep indents in the fence are proposed along 27th Avenue in accordance with the Residential Design Standards. Although not shown in detail on the Illustrative Site Plan (Sheet 10), Conceptual Landscape Plan (Sheet 11) or Park and Open Space Plan (Sheet 12), the intent is that the lot line jogs with the fence line such that the lot line and fence line are the same as illustrated on the Fencing Plan. Additionally, the lot lines shall vary with the fence line along collector streets as indicated on the Fencing Plan. The lot depth variation and fence jog locations shall be indicated on future platting applications.

2. Wood fence material shall be treated per the Residential Design Standards.

FENCING PLAN



Disclaimer: Lot line layout is conceptual only. The Final Plat will indicate final lot and road layout for the subdivision.

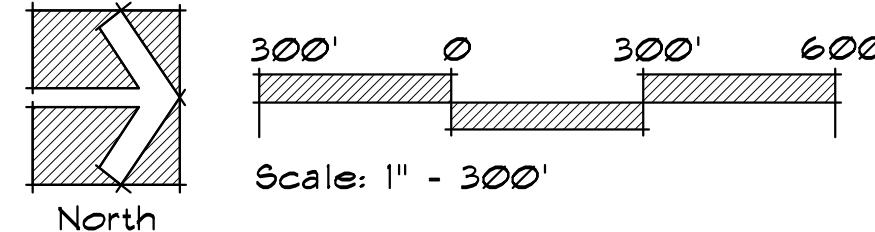
LEGEND

— Privacy Fence

— 3-Rail Fence

■ Column (along 27th Avenue)

Note: Fences shown inside lot lines for display purposes only.



FENCE DETAIL PLAN - Collector Streets

1" = 50'

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DATE: APRIL 24, 2015

