

ORDINANCE NO. _____

INTRODUCED BY: _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF BRIGHTON, COLORADO, APPROVING THE REZONING VIA PLANNED DEVELOPMENT OF THE MOUNTAIN VIEW ESTATES SUBDIVISION, FILINGS 1 AND 2, FROM R-1 AND R-1-B TO THE MOUNTAIN VIEW ESTATES PLANNED DEVELOPMENT, GENERALLY LOCATED TO THE NORTH OF BRIDGE ST., SOUTH OF BASELINE RD., WEST OF TELLURIDE ST., AND EAST OF THE BRIGHTON LATERAL DITCH, AND LOCATED IN A PORTION OF THE WEST HALF OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF BRIGHTON, COUNTY OF ADAMS, STATE OF COLORADO

WHEREAS, AMREPCO, INC. (the “Owner”) is the owner of certain real property of approximately 165.7-acres in size, located to the north of Bridge St., south of Baseline Rd., west of Telluride St., and east of the Brighton Lateral Ditch, and as more particularly described in Exhibit A, attached hereto (the “Property”); and

WHEREAS, Josie Kohnert of Redland (the “Applicant”), has filed an application (the “Application”) for the Mountain View Estates Planned Development (“the PD”) and a zone change of the Property on behalf of the Owner; and

WHEREAS, the Applicant and Owner seek to change the zoning of the Property from the existing R-1 and R-1-B zoning to the proposed Mountain View Estates PD, as set forth in Exhibit B, attached hereto; and

WHEREAS, City Staff used the criteria outlined for a Planned Development in the *Land Use & Development Code* for its review and procedures related to the application; and

WHEREAS, the Planning Commission conducted a public hearing on January 13, 2022, to review and consider the PD pursuant to the applicable provisions and criteria set forth in the *Land Use & Development Code*, and recommended approval to the City Council; and

WHEREAS, the City Council opened a public hearing on February 1, 2022 where it conducted its review and considered the PD pursuant to the applicable provisions and criteria set forth in the *Land Use & Development Code*; and

WHEREAS, in accordance with the public notice requirements of the *Land Use & Development Code*, a Notice of Public Hearing was mailed to all property owners within 1,000 feet of the Property, a public notice was published on the City’s website, and a sign was posted on the Property, all for no less than fifteen (15) days prior to the City Council public hearing; and

WHEREAS, at the public hearing, the City Council received and considered all relevant evidence and testimony from City staff, the Applicant, and other interested parties, including the public at large; and

WHEREAS, City Council hereby finds and determines that the PD does follow the intent of the Comprehensive Plan in providing for the future of the City; complies with the requirements of the *Land Use & Development Code*; is generally consistent with the Comprehensive Plan and will better implement said plan beyond what could be accomplished under application of a general zoning district and development standards; provides benefits from any flexibility that promotes

general public health, safety, and welfare of the community, and that said flexibility is not strictly to benefit the Applicant or a single project; the flexibility provided allows future projects on the Property to better meet or exceed the intent of the base zoning district; the proposed adjustments to the standards do not undermine the intent or design objects of those standards when applied to the Property; reflects generally accepted and sound planning and urban design principles with respect to applying the goals and objects of the Comprehensive Plan; and meets all of the review criteria for a zoning map amendment.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BRIGHTON, COLORADO, AS FOLLOWS:

Section 1. The Property is hereby rezoned as the Mountain View Estates Planned Development.

Section 2. The City Zoning Map shall be amended to reflect said zoning change.

Section 3. As provided in City Charter Section 5.9(A), this Ordinance either as presented or as amended, shall be published in full as it was adopted prior to taking final action. This Ordinance shall be in full force and effect for five days after its final publication, as provided in City Charter Section 5.8.

INTRODUCED, PASSED ON FIRST READING, AND ORDERED PUBLISHED, THIS 1ST DAY OF FEBRUARY, 2022.

PASSED ON SECOND AND FINAL READING AND ORDERED PUBLISHED BY TITLE ONLY THIS 15TH DAY OF FEBRUARY, 2022.

CITY OF BRIGHTON, COLORADO

GREGORY MILLS, Mayor

ATTEST:

NATALIE HOEL, City Clerk

Published in the *Brighton Standard Blade*

First Publication: February 9, 2022

Final Publication: February 23, 2022

APPROVED AS TO FORM:

YASMINA SHAUSH, Assistant City Attorney

EXHIBIT A Legal Description

LEGAL DESCRIPTION

LEGAL DESCRIPTION AND DEDICATION FILING NO. 1
KNOW ALL MEN BY THESE PRESENTS THAT AMREPCO INC., BEING THE OWNER OF THAT PART OF THE SOUTH-WEST QUARTER OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 86 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 4, WHENCE THE SOUTH QUARTER CORNER OF SAID SECTION 4 BEARS SOUTH 00°20'24" WEST A DISTANCE OF 2030.18 FEET, SAID LINE FORMING THE BASIS OF BEARINGS FOR THIS DESCRIPTION, THENCE SOUTH 00°20'24" WEST ALONG THE WESTERLY LINE OF SAID SOUTH-WEST QUARTER A DISTANCE OF 100.51 FEET, THENCE NORTH 80°39'30" WEST A DISTANCE OF 69.50 FEET TO THE WESTERLY LINE OF TELLURICK STREET AND THE POINT OF BEGINNING, THENCE ALONG SAID WESTERLY LINE OF TELLURICK STREET THE FOLLOWING EIGHT (8) COURSES:

1. SOUTH 00°20'24" WEST ALONG A LINE TANGENT WITH THE FOLLOWING DESCRIBED CURVE A DISTANCE OF 923.99 FEET;
2. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 30.00 FEET, AN ARC DISTANCE OF 47.12 FEET, AND A CHORD BEARING SOUTH 45°26'24" WEST A DISTANCE OF 42.43 FEET;
3. THENCE SOUTH 00°20'24" WEST ALONG A LINE RADIAL TO THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 73.00 FEET;
4. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 30.00 FEET, AN ARC DISTANCE OF 47.12 FEET, AND A CHORD BEARING SOUTH 44°39'36" EAST A DISTANCE OF 42.43 FEET;
5. THENCE SOUTH 00°20'24" WEST ALONG A LINE TANGENT WITH THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 713.83 FEET;
6. THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 12°08'14", A RADIUS OF 378 FEET, AN ARC DISTANCE OF 85.07 FEET, AND A CHORD BEARING SOUTH 05°42'47" EAST A DISTANCE OF 91.00 FEET TO A POINT OF REVERSE CURVE;
7. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 89°43'54", A RADIUS OF 33.00 FEET, AN ARC DISTANCE OF 51.68 FEET, AND A CHORD BEARING SOUTH 33°06'57" WEST A DISTANCE OF 49.36 FEET;
8. THENCE SOUTH 00°20'24" WEST A DISTANCE OF 50.00 FEET, THENCE SOUTH 00°20'24" WEST A DISTANCE OF 154.84 FEET, THENCE NORTH 89°39'30" WEST A DISTANCE OF 701.86 FEET TO THE CENTERLINE OF THE BRIGHTON LATERAL DITCH.

THENCE ALONG SAID CENTERLINE THE FOLLOWING THREE (3) COURSES:

1. NORTH 27°34'52" WEST A DISTANCE OF 343.51 FEET;
2. THENCE NORTH 19°21'15" WEST ALONG A LINE TANGENT WITH THE FOLLOWING DESCRIBED CURVE A DISTANCE OF 30.03 FEET;
3. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 1°32'27", A RADIUS OF 160.06 FEET, AN ARC DISTANCE OF 33.30 FEET, AND A CHORD BEARING NORTH 12°34'21" WEST A DISTANCE OF 33.24 FEET;
- THENCE NORTH 07°25'48" WEST A DISTANCE OF 872.43 FEET TO SAID CENTERLINE OF THE BRIGHTON LATERAL DITCH.

THENCE ALONG SAID CENTERLINE THE FOLLOWING TWENTY (20) COURSES:

1. NORTH 57°29'15" WEST ALONG A LINE TANGENT WITH THE FOLLOWING DESCRIBED CURVE A DISTANCE OF 236.35 FEET;
2. THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 47°18'24", A RADIUS OF 150.00 FEET, AN ARC DISTANCE OF 123.78 FEET, A CHORD BEARING NORTH 80°07'27" WEST A DISTANCE OF 120.28 FEET TO A POINT OF REVERSE CURVE;
3. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 15°48'37", A RADIUS OF 448.27 FEET, AN ARC DISTANCE OF 122.98 FEET, A CHORD BEARING SOUTH 84°06'47" WEST A DISTANCE OF 121.89 FEET;
4. THENCE NORTH 80°10'15" WEST ALONG A LINE TANGENT WITH THE PREVIOUSLY DESCRIBED CURVE A DISTANCE OF 79.50 FEET;
5. THENCE SOUTH 89°22'47" WEST ALONG A LINE TANGENT WITH THE FOLLOWING DESCRIBED CURVE A DISTANCE OF 79.50 FEET;
6. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 16°18'57", A RADIUS OF 150.00 FEET, AN ARC DISTANCE OF 49.35 FEET, A CHORD BEARING NORTH 81°27'44" WEST A DISTANCE OF 49.34 FEET;
7. THENCE NORTH 72°16'15" WEST ALONG A LINE TANGENT WITH THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 79.50 FEET;
8. THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 34°14'42", A RADIUS OF 210.00 FEET, AN ARC DISTANCE OF 86.86 FEET, A CHORD BEARING NORTH 84°25'36" WEST A DISTANCE OF 88.20 FEET;
9. THENCE SOUTH 82°27'57" WEST ALONG A LINE TANGENT WITH THE PREVIOUSLY DESCRIBED CURVE A DISTANCE OF 202.77 FEET;
10. THENCE NORTH 80°02'15" WEST ALONG A LINE TANGENT WITH THE FOLLOWING DESCRIBED CURVE A DISTANCE OF 80.85 FEET;
11. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 58°38'30", A RADIUS OF 95.00 FEET, AN ARC DISTANCE OF 50.92 FEET, A CHORD BEARING NORTH 59°50'06" WEST A DISTANCE 90.14 FEET;
12. THENCE NORTH 31°30'51" WEST ALONG A LINE TANGENT WITH THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 80.84 FEET;
13. THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 17°34'48", A RADIUS OF 260.00 FEET, AN ARC DISTANCE OF 79.79 FEET, A CHORD BEARING NORTH 49°45'15" WEST A DISTANCE OF 79.48 FEET;
14. THENCE NORTH 49°02'31" WEST ALONG A LINE TANGENT WITH THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 187.78 FEET;
15. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 43°12'37", A RADIUS OF 190.00 FEET, AN ARC DISTANCE OF 143.29 FEET, A CHORD BEARING NORTH 37°29'07" WEST A DISTANCE OF 139.92 FEET;
16. THENCE NORTH 85°02'02" WEST ALONG A LINE TANGENT WITH THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 84.15 FEET;
17. THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 1°11'12", A RADIUS OF 225.00 FEET, AN ARC DISTANCE OF 40.99 FEET, A CHORD BEARING NORTH 1°05'58" WEST A DISTANCE OF 39.96 FEET;
18. THENCE NORTH 16°04'14" WEST ALONG A LINE TANGENT WITH THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 39.97 FEET;
19. THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 03°38'27", A RADIUS OF 140.00 FEET, AN ARC DISTANCE OF 40.14 FEET, A CHORD BEARING NORTH 16°12'37" WEST A DISTANCE OF 40.12 FEET;
20. THENCE NORTH 31°48'48" WEST ALONG A LINE TANGENT WITH THE PREVIOUSLY DESCRIBED CURVE A DISTANCE OF 90.38 FEET;

THENCE NORTH 80°27'30" EAST ALONG A LINE TANGENT WITH THE FOLLOWING DESCRIBED CURVE, A DISTANCE OF 41.75 FEET TO THE SOUTHERLY LINE OF EAST LONGS PEAK STREET, THENCE ALONG SAID SOUTHERLY LINE OF EAST LONGS PEAK STREET THE FOLLOWING ELEVEN (11) COURSES:

1. ALONG THE ARC OF A CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 89°52'21", A RADIUS OF 30.00 FEET, AN ARC DISTANCE OF 47.06 FEET, AND A CHORD BEARING NORTH 45°27'46" EAST A DISTANCE OF 42.38 FEET;
2. THENCE SOUTH 89°40'54" EAST ALONG A LINE TANGENT WITH THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 537.20 FEET;
3. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 30.00 FEET, AN ARC DISTANCE OF 47.12 FEET, AND A CHORD BEARING SOUTH 44°05'44" EAST A DISTANCE OF 42.43 FEET;
4. THENCE SOUTH 89°40'54" EAST ALONG A LINE RADIAL TO THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 50.00 FEET;

LEGAL DESCRIPTION CONTINUED

5. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 30.00 FEET, AN ARC DISTANCE OF 47.12 FEET, AND A CHORD BEARING NORTH 40°19'50" EAST A DISTANCE OF 42.43 FEET;
6. THENCE SOUTH 89°40'54" EAST ALONG A LINE TANGENT WITH THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 190.14 FEET;
7. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 30.00 FEET, AN ARC DISTANCE OF 47.12 FEET, AND A CHORD BEARING SOUTH 44°40'54" EAST A DISTANCE OF 42.43 FEET;
8. THENCE SOUTH 89°40'54" EAST ALONG A LINE RADIAL TO THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 73.00 FEET;
9. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 30.00 FEET, AN ARC DISTANCE OF 47.12 FEET, AND A CHORD BEARING NORTH 40°19'50" EAST A DISTANCE OF 42.43 FEET;
10. THENCE SOUTH 89°40'54" EAST ALONG A LINE TANGENT WITH THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 572.90 FEET;
11. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 30.00 FEET, AN ARC DISTANCE OF 47.12 FEET, AND A CHORD BEARING SOUTH 44°39'59" EAST A DISTANCE OF 42.43 FEET TO THE POINT OF BEGINNING.

CONTAINING 3,045.238 SQUARE FEET OR 69.909 ACRES.

LEGAL DESCRIPTION AND DEDICATION FILING NO. 2:

KNOW ALL MEN BY THESE PRESENTS THAT AMREPCO INC., BEING THE OWNER OF THAT PART OF THE WEST HALF OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 86 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF BRIGHTON, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE CENTER QUARTER CORNER OF SAID SECTION 4, WHENCE THE SOUTH QUARTER CORNER OF SAID SECTION 4 BEARS SOUTH 00°20'24" WEST A DISTANCE OF 2610.18 FEET, SAID LINE FORMING THE BASIS OF BEARINGS FOR THIS DESCRIPTION:

THENCE SOUTH 00°20'24" WEST ALONG THE EASTERLY LINE OF THE SOUTH-WEST QUARTER OF SAID SECTION 4 A DISTANCE OF 2190.18 FEET;

THENCE SOUTH 89°31'10" EAST A DISTANCE OF 80.91 FEET;

THENCE SOUTH 00°17'11" WEST A DISTANCE OF 400.00 FEET TO THE NORTHERLY LINE OF BRIDGE STREET;

THENCE NORTH 89°31'10" WEST ALONG SAID NORTHERLY LINE OF BRIDGE STREET A DISTANCE OF 91.15 FEET;

THENCE NORTH 89°30'59" WEST CONTINUING ALONG SAID NORTHERLY LINE OF BRIDGE STREET A DISTANCE OF 60.00 FEET;

THENCE NORTH 00°20'24" EAST A DISTANCE OF 99.91 FEET;

THENCE ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 235.00 FEET, AN ARC LENGTH OF 33.38 FEET, AND A CHORD BEARING NORTH 04°23'39" EAST A DISTANCE OF 30.33 FEET;

THENCE NORTH 00°23'10" EAST A DISTANCE OF 150.00 FEET;

THENCE ALONG SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 89°00'00", A RADIUS OF 180.00 FEET, AN ARC LENGTH OF 29.38 FEET, AND A CHORD BEARING NORTH 04°23'39" EAST A DISTANCE OF 23.33 FEET;

THENCE NORTH 00°20'24" EAST A DISTANCE OF 84.96 FEET;

THENCE NORTH 89°39'30" WEST A DISTANCE OF 49.48 FEET;

THENCE NORTH 00°20'24" EAST A DISTANCE OF 151.84 FEET;

THENCE NORTH 12°03'40" WEST A DISTANCE OF 50.00 FEET;

THENCE ALONG SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 89°43'54", A RADIUS OF 33.00 FEET, AN ARC LENGTH OF 51.68 FEET, AND A CHORD BEARING NORTH 33°06'57" EAST A DISTANCE OF 48.56 FEET;

THENCE ALONG SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 12°08'14", A RADIUS OF 378.00 FEET, AN ARC LENGTH OF 85.07 FEET, AND A CHORD BEARING NORTH 05°42'47" WEST A DISTANCE OF 79.92 FEET;

THENCE NORTH 00°20'24" EAST A DISTANCE OF 713.83 FEET;

THENCE ALONG SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 47.12 FEET, AND A CHORD BEARING NORTH 44°39'36" WEST A DISTANCE OF 42.43 FEET;

THENCE NORTH 00°20'24" EAST A DISTANCE OF 73.00 FEET;

THENCE ALONG SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 47.12 FEET, AND A CHORD BEARING NORTH 45°26'24" WEST A DISTANCE OF 42.43 FEET;

THENCE NORTH 00°20'24" EAST A DISTANCE OF 923.99 FEET;

THENCE ALONG SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 47.12 FEET, AND A CHORD BEARING NORTH 44°39'36" WEST A DISTANCE OF 42.43 FEET;

THENCE ALONG SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 47.12 FEET, AND A CHORD BEARING SOUTH 44°19'50" WEST A DISTANCE OF 42.43 FEET;

(LEGAL DESCRIPTION CONTINUED ON SHEET 2)

EXHIBIT B
Planned Development as provided by the Applicant

LEGAL DESCRIPTION CONT.

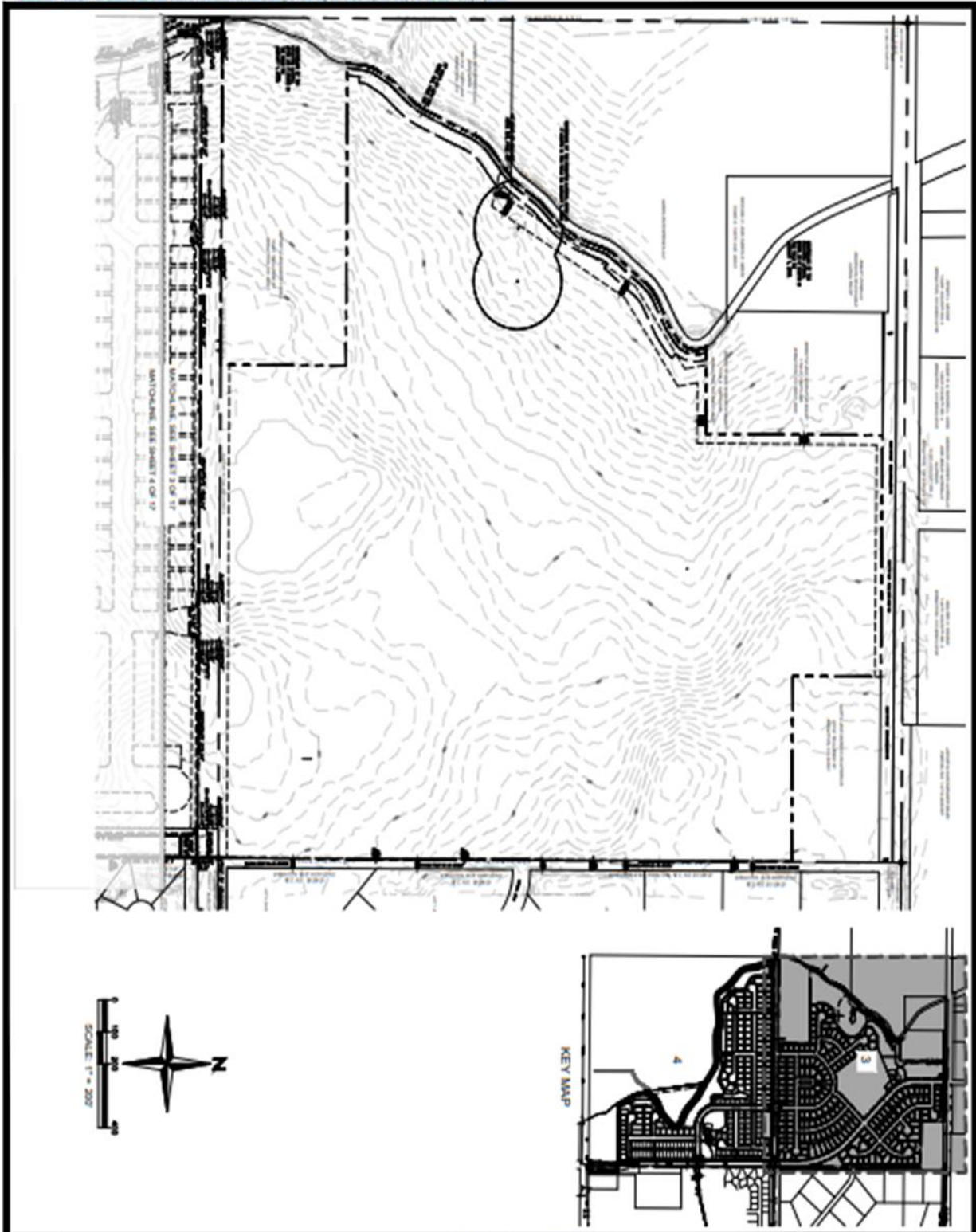
LEGAL DESCRIPTION CONT.
THENCE NORTH 80 FEET...
THENCE NORTH 100 FEET...
THENCE NORTH 120 FEET...

Table with columns: TRACT, AREA (SQ FT), LOT TYPE, USE, OWNER, COMMISSION, MAINTAINED BY. Includes sub-tables for 'MOUNTAIN VIEW ESTATES SUBDIVISION, PLUNG NO.1' and 'TRACT TABLE'.

Table with columns: TRACT, AREA (ACRES), LOT, OWNER, COMMISSION, MAINTAINED BY. Includes 'TRACT TABLE' and 'MOUNTAIN VIEW ESTATES SUBDIVISION, PLUNG NO.2'.

NOTES:
1. ANY TRACTS LISTED AS "MAINTAINED BY N/A" MAY ALSO BE MAINTAINED BY A MEMTO DOMESTIC COMPANY FORMED IN ALABAMA.

MOUNTAIN VIEW ESTATES PLANNED DEVELOPMENT COVER. Includes Redland logo and page number 2 OF 21.

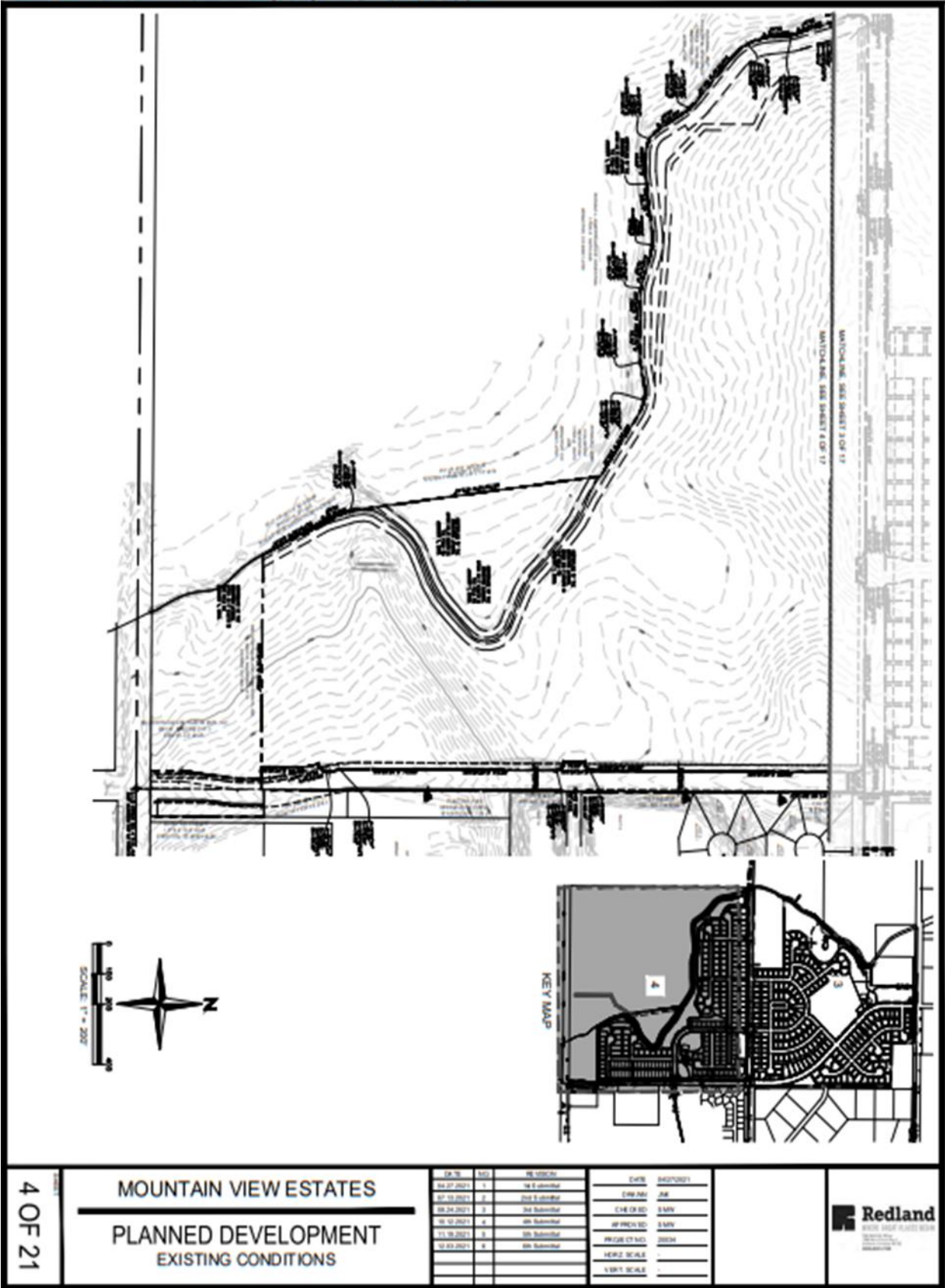


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MOUNTAIN VIEW ESTATES
PLANNED DEVELOPMENT
EXISTING CONDITIONS

DATE	BY	REVISION	DATE	DESCRIPTION
04.27.2021	J	1st 3 columns	04.27.2021	JM
07.13.2021	J	2nd 3 columns	07.13.2021	SMV
08.24.2021	J	3rd 3 columns	08.24.2021	SMV
08.30.2021	J	4th 3 columns	08.30.2021	SMV
11.18.2021	J	5th 3 columns	11.18.2021	SMV
12.03.2021	J	6th 3 columns	12.03.2021	SMV





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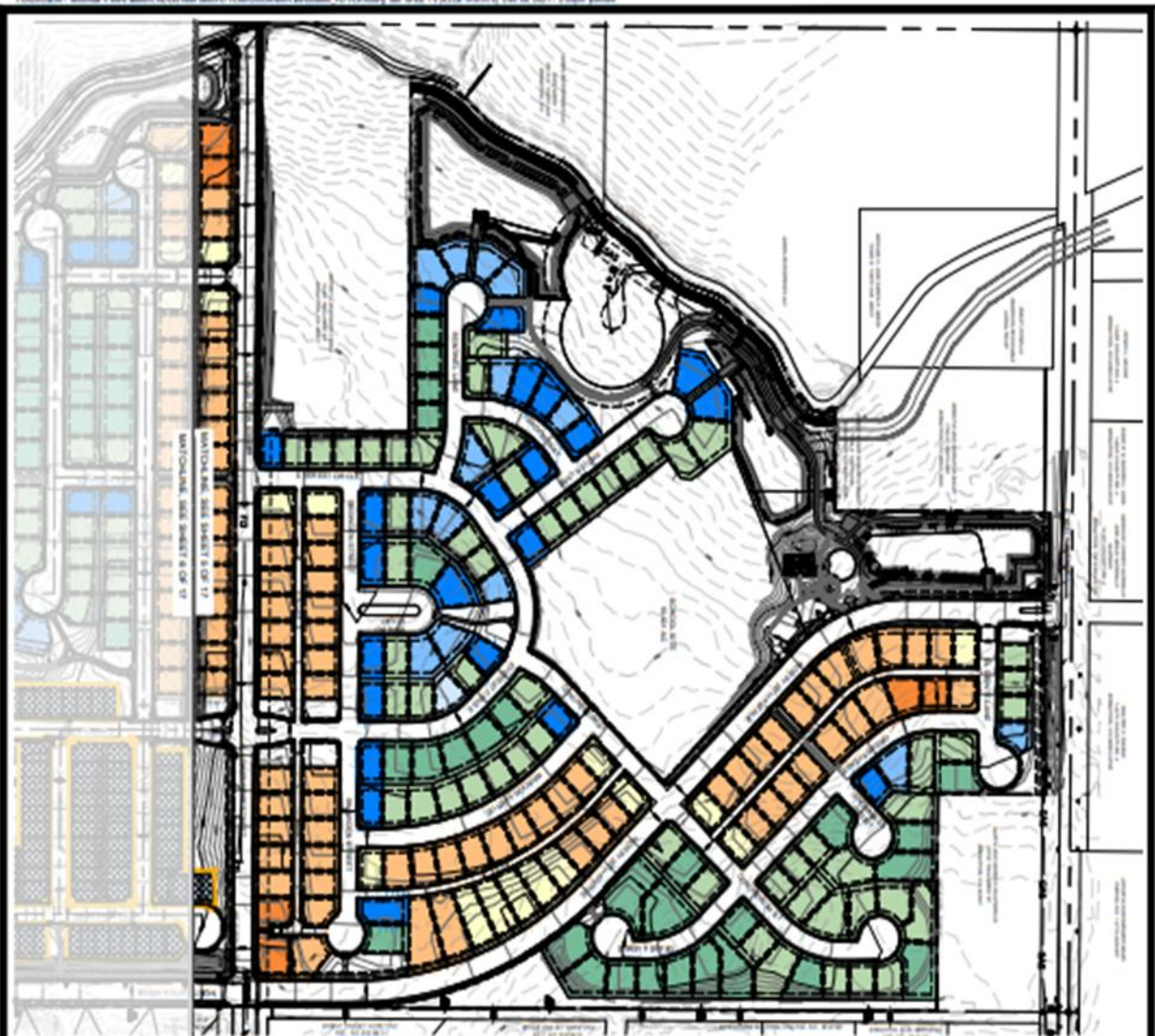
MOUNTAIN VIEW ESTATES
PLANNED DEVELOPMENT
 EXISTING CONDITIONS

DATE	NO.	BY	REVISION
04/27/2021	1	JK	1st Submittal
07/13/2021	2	JK	2nd Submittal
08/24/2021	3	JK	3rd Submittal
10/12/2021	4	JK	4th Submittal
11/18/2021	5	JK	5th Submittal
12/03/2021	6	JK	6th Submittal

DATE	BY	REVISION

DATE	BY	REVISION





KEY MAP

LOT TYPE LEGEND

LOT TYPE	COLOR	REMARKS
1	Blue	100' x 100'
2	Green	100' x 100'
3	Yellow	100' x 100'
4	Orange	100' x 100'
5	Light Green	100' x 100'
6	Light Blue	100' x 100'
7	Light Yellow	100' x 100'
8	Light Orange	100' x 100'
9	Light Green	100' x 100'
10	Light Blue	100' x 100'
11	Light Yellow	100' x 100'
12	Light Orange	100' x 100'
13	Light Green	100' x 100'
14	Light Blue	100' x 100'
15	Light Yellow	100' x 100'
16	Light Orange	100' x 100'
17	Light Green	100' x 100'
18	Light Blue	100' x 100'
19	Light Yellow	100' x 100'
20	Light Orange	100' x 100'
21	Light Green	100' x 100'
22	Light Blue	100' x 100'
23	Light Yellow	100' x 100'
24	Light Orange	100' x 100'
25	Light Green	100' x 100'
26	Light Blue	100' x 100'
27	Light Yellow	100' x 100'
28	Light Orange	100' x 100'
29	Light Green	100' x 100'
30	Light Blue	100' x 100'
31	Light Yellow	100' x 100'
32	Light Orange	100' x 100'
33	Light Green	100' x 100'
34	Light Blue	100' x 100'
35	Light Yellow	100' x 100'
36	Light Orange	100' x 100'
37	Light Green	100' x 100'
38	Light Blue	100' x 100'
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40	Light Orange	100' x 100'
41	Light Green	100' x 100'
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50	Light Blue	100' x 100'
51	Light Yellow	100' x 100'
52	Light Orange	100' x 100'
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59	Light Yellow	100' x 100'
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78	Light Blue	100' x 100'
79	Light Yellow	100' x 100'
80	Light Orange	100' x 100'
81	Light Green	100' x 100'
82	Light Blue	100' x 100'
83	Light Yellow	100' x 100'
84	Light Orange	100' x 100'
85	Light Green	100' x 100'
86	Light Blue	100' x 100'
87	Light Yellow	100' x 100'
88	Light Orange	100' x 100'
89	Light Green	100' x 100'
90	Light Blue	100' x 100'
91	Light Yellow	100' x 100'
92	Light Orange	100' x 100'
93	Light Green	100' x 100'
94	Light Blue	100' x 100'
95	Light Yellow	100' x 100'
96	Light Orange	100' x 100'
97	Light Green	100' x 100'
98	Light Blue	100' x 100'
99	Light Yellow	100' x 100'
100	Light Orange	100' x 100'

NOTE:
 1. IF THE SCHOOL BUS OR ANY OTHER PROHIBITED VEHICLES ARE TO BE ALLOWED TO USE THE DEVELOPMENT, THE DESIGNER SHALL PROVIDE A TURNING CIRCLE AND PARKING AREA WITHIN THE DEVELOPMENT TO ACCOMMODATE SUCH VEHICLES.
 2. ALL COMMONS, ENDRIDGE, AND PARK DESIGN IS SHOWN FOR ILLUSTRATIVE PURPOSES AND WILL BE APPROVED WITH THE CIVIL CONSTRUCTION DRAWINGS.



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MOUNTAIN VIEW ESTATES

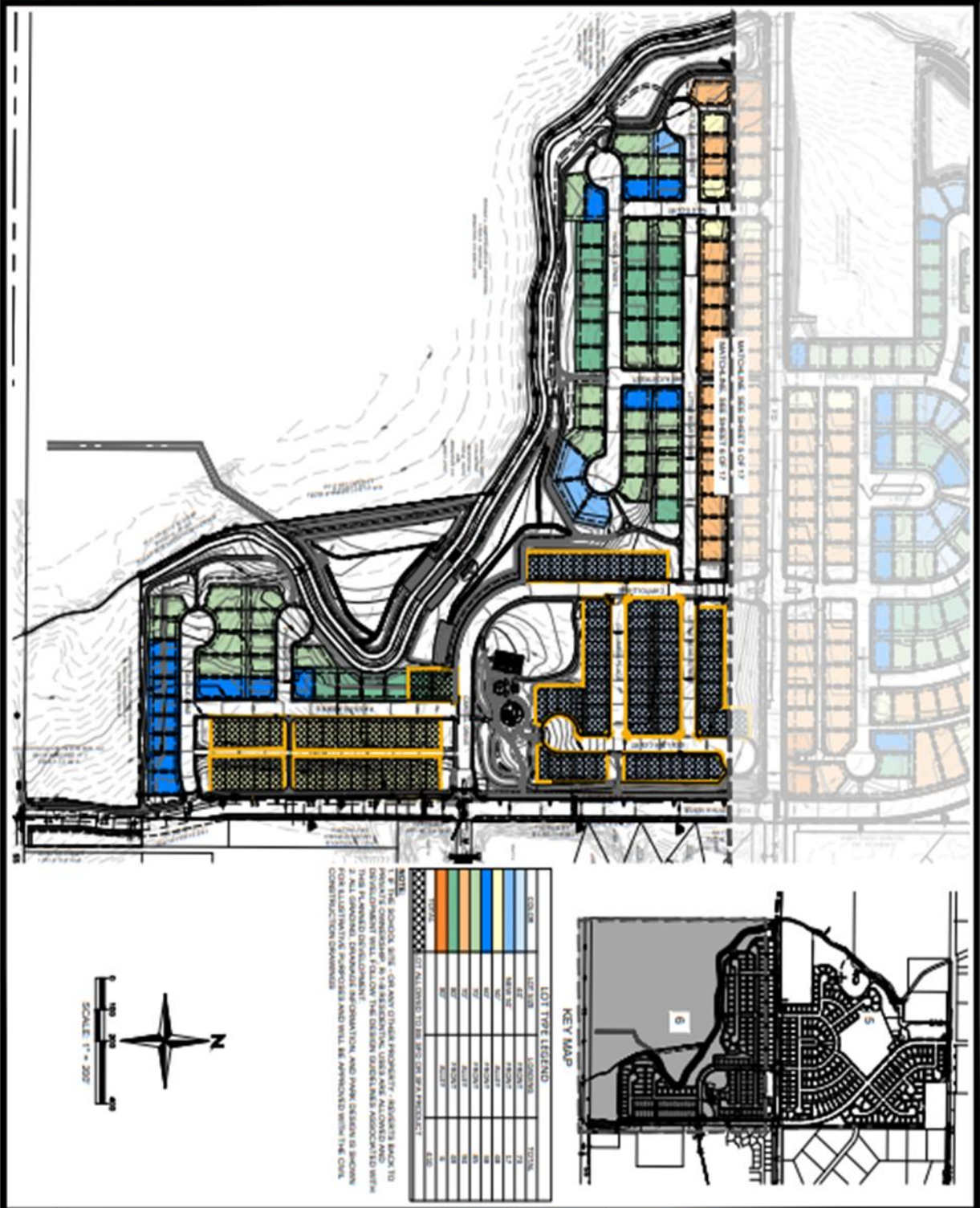
PLANNED DEVELOPMENT

ILLUSTRATIVE & CONCEPTUAL DEVELOPMENT PLAN

DATE	DESCRIPTION
04/27/2024	100' x 100'
05/13/2024	100' x 100'
06/28/2024	100' x 100'
08/12/2024	100' x 100'
11/18/2024	100' x 100'
02/03/2025	100' x 100'

DATE	DESCRIPTION
04/27/2024	100' x 100'
05/13/2024	100' x 100'
06/28/2024	100' x 100'
08/12/2024	100' x 100'
11/18/2024	100' x 100'
02/03/2025	100' x 100'

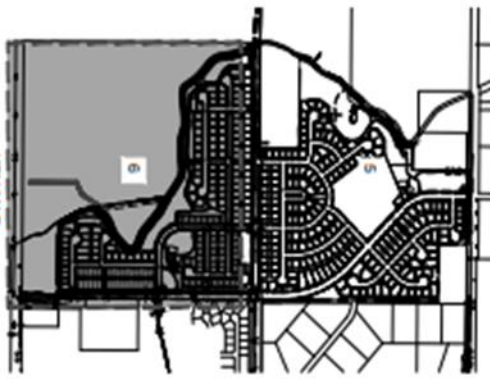
Redland
 1000 WEST PLAZA BOULEVARD
 SUITE 110
 REDLAND, CA 92354
 (951) 546-1100



NOTES:
 1. IF THE SCHOOL, WINE, OR ANY OTHER FACILITY - RESIDENTS BACK TO PROPERTY DEVELOPMENT IN THE RESIDENTIAL USES ARE ALLOWED AND TO BE PLANNED DEVELOPMENT. THE DESIGN SHALL BE ASSIGNED WITH 2. ALL GENERAL DRAINAGE INFRASTRUCTURE AND MAINTENANCE IS SHOWN FOR ALTERNATIVE PURPOSES AND WILL BE APPROVED WITH THE CIVIL CONSTRUCTION DIVISIONS.

LOT TYPE LEGEND

LOT TYPE	DESCRIPTION	AREA (SQ FT)	PERCENTAGE	TOTAL																																																																																															
LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8	LOT 9	LOT 10	LOT 11	LOT 12	LOT 13	LOT 14	LOT 15	LOT 16	LOT 17	LOT 18	LOT 19	LOT 20	LOT 21	LOT 22	LOT 23	LOT 24	LOT 25	LOT 26	LOT 27	LOT 28	LOT 29	LOT 30	LOT 31	LOT 32	LOT 33	LOT 34	LOT 35	LOT 36	LOT 37	LOT 38	LOT 39	LOT 40	LOT 41	LOT 42	LOT 43	LOT 44	LOT 45	LOT 46	LOT 47	LOT 48	LOT 49	LOT 50	LOT 51	LOT 52	LOT 53	LOT 54	LOT 55	LOT 56	LOT 57	LOT 58	LOT 59	LOT 60	LOT 61	LOT 62	LOT 63	LOT 64	LOT 65	LOT 66	LOT 67	LOT 68	LOT 69	LOT 70	LOT 71	LOT 72	LOT 73	LOT 74	LOT 75	LOT 76	LOT 77	LOT 78	LOT 79	LOT 80	LOT 81	LOT 82	LOT 83	LOT 84	LOT 85	LOT 86	LOT 87	LOT 88	LOT 89	LOT 90	LOT 91	LOT 92	LOT 93	LOT 94	LOT 95	LOT 96	LOT 97	LOT 98	LOT 99	LOT 100



DATE	BY	PROJECT NO.	REVISION
04/27/2023	JRK	2023-010	Initial Submittal
07/10/2023	JRK	2023-010	Final Submittal
08/24/2023	JRK	2023-010	Final 2nd Submittal
08/24/2023	JRK	2023-010	Final 3rd Submittal
11/18/2023	JRK	2023-010	Final 4th Submittal
12/05/2023	JRK	2023-010	Final 5th Submittal

STATEMENT OF INTENT

The Mountain View Estates Development is a 3021 lot property, located in the City of Mountain View, California...

ADDITIONAL INFORMATION: The Mountain View Estates Development is a 3021 lot property, located in the City of Mountain View, California...

ADDITIONAL INFORMATION: The Mountain View Estates Development is a 3021 lot property, located in the City of Mountain View, California...

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ADDITIONAL INFORMATION: The Mountain View Estates Development is a 3021 lot property, located in the City of Mountain View, California...

also showing comprehensive modern design. These FO standards are intended to ensure that an adequate mix of middle and upper class housing is provided within the region.

2) Median density will show the 2009 LUFC Median 37-44 DPU. Each acre block will provide for 120-180 units and 7000 sq ft.

4) Design Standards (Design to provide high quality housing) 1. Minimum density of 30 units per acre. 2. Minimum lot size of 8,000 sq ft. 3. Minimum lot coverage of 15%.

5) Design Standards (Design to provide high quality housing) 1. Minimum density of 30 units per acre. 2. Minimum lot size of 8,000 sq ft. 3. Minimum lot coverage of 15%.

6) Design Standards (Design to provide high quality housing) 1. Minimum density of 30 units per acre. 2. Minimum lot size of 8,000 sq ft. 3. Minimum lot coverage of 15%.

7) Design Standards (Design to provide high quality housing) 1. Minimum density of 30 units per acre. 2. Minimum lot size of 8,000 sq ft. 3. Minimum lot coverage of 15%.

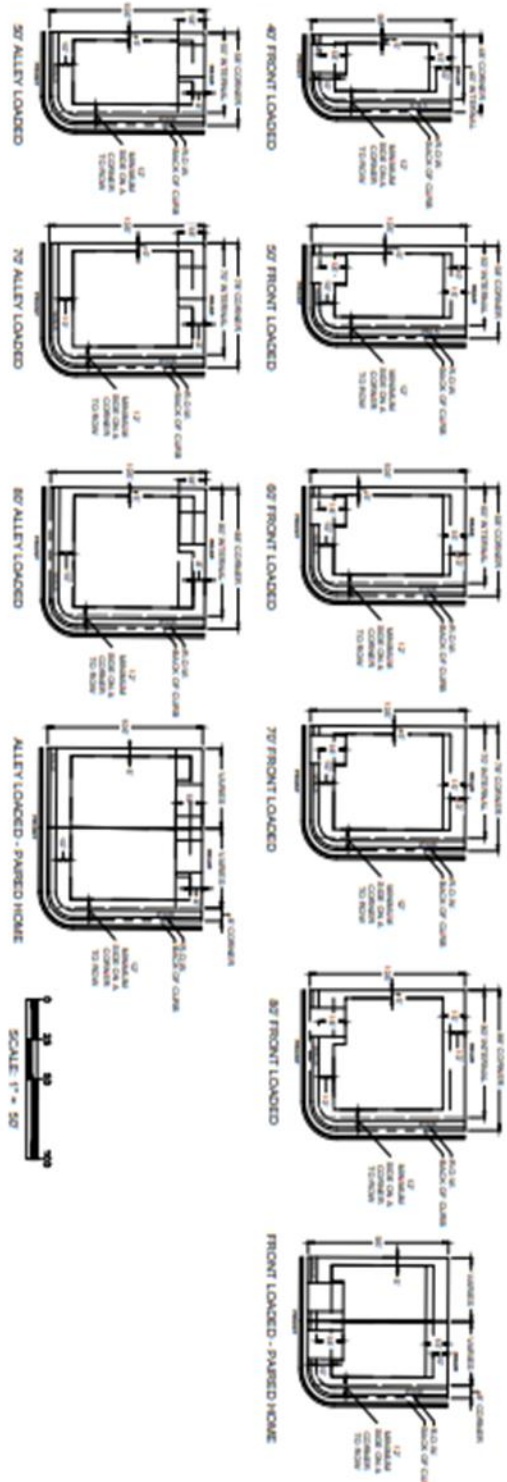
8) Design Standards (Design to provide high quality housing) 1. Minimum density of 30 units per acre. 2. Minimum lot size of 8,000 sq ft. 3. Minimum lot coverage of 15%.



Table with 4 columns: NAME, DATE, TIME, and SCALE. Rows include: CNAI (DATE: 04/15/2015, TIME: 11:30 AM, SCALE: 1/2"=1'-0"), CNAI (DATE: 04/15/2015, TIME: 11:30 AM, SCALE: 1/2"=1'-0"), etc.

MOUNTAIN VIEW ESTATES
PLANNED DEVELOPMENT
REGULATING PLAN
7 OF 21

LOT TYPICALS



LOT DEVELOPMENT STANDARDS

PO	Minimum Lot Size	Minimum Lot Width *	Minimum Lot Open Space	Front Yard Setback to Front or Side Yard **	Front Yard Setback to Garage **	Side Yard Setback (Min.)	Rear Setback (Min.)	Building Height (Max.)	Encroachments
Single Family Detached	3,000 SF	40 FT minimum Corner Lot = 5 FT	400 SF	20 FT Accessory Bldg. Max. Allowed	18 FT	Intersect Principal Bldg. 5 FT Corner Principal Bldg. to ROW 12 FT Accessory Bldg. 5 FT	Principal Bldg. 15 FT Accessory Bldg. 20 FT	Principal Bldg. 25 FT Accessory Bldg. 16 FT	A. Encroachments into setbacks, eaves, overhangs, porches, walk ways or other architectural features are allowed to project into setbacks 12 feet into project required setbacks. B. Unexcused and un-ordered deck or patio or or below the first floor elevation may extend into the rear or side setbacks up to three (3) feet but no closer than five (5) feet from any lot line.
Accessory Garage Loaded Lots	5,200 FT	50 FT minimum Corner Lot = 5 FT	400 SF	20 FT Accessory Bldg. Max. Allowed	N/A	Intersect Principal Bldg. 5 FT Corner Principal Bldg. to ROW 12 FT Accessory Bldg. 5 FT	Principal Bldg. 15 FT Accessory Bldg. 20 FT	Principal Bldg. 25 FT Accessory Bldg. 16 FT	A. Encroachments into setbacks, eaves, overhangs, porches, walk ways or other architectural features are allowed to project into setbacks 12 feet into project required setbacks. B. Unexcused and un-ordered deck or patio or or below the first floor elevation may extend into the rear or side setbacks up to three (3) feet but no closer than five (5) feet from any lot line.
PO									
Single Family Attached	Minimum Lot Size	Minimum Lot Width *	Minimum Lot Open Space	Front Yard Setback to Front or Side Yard **	Front Yard Setback to Garage **	Side Yard Setback (Min.)	Rear Setback (Min.)	Building Height (Max.)	Encroachments
Front Garage Loaded Lots	3,000 FT	40 FT minimum Corner Lot = 5 FT	400 SF	20 FT Accessory Bldg. Max. Allowed	18 FT	Attached - Principal Bldg. 0 FT on attached/shared wall and 5 FT other side. Corner lots have a setback of 12 FT to public ROW. Accessory Bldg. 5 FT	Principal Bldg. 15 FT Accessory Bldg. 20 FT	Principal Bldg. 25 FT Accessory Bldg. 16 FT	A. Encroachments into setbacks, eaves, overhangs, porches, walk ways or other architectural features are allowed to project into setbacks 12 feet into project required setbacks. B. Unexcused and un-ordered deck or patio or or below the first floor elevation may extend into the rear or side setbacks up to three (3) feet but no closer than five (5) feet from any lot line.
Accessory Garage Loaded Lots	5,200 FT	50 FT minimum Corner Lot = 5 FT	400 SF	20 FT Accessory Bldg. Max. Allowed	N/A	Attached - Principal Bldg. 0 FT on attached/shared wall and 5 FT other side. Corner lots have a setback of 12 FT to public ROW. Accessory Bldg. 5 FT	Principal Bldg. 15 FT Accessory Bldg. 20 FT	Principal Bldg. 25 FT Accessory Bldg. 16 FT	A. Encroachments into setbacks, eaves, overhangs, porches, walk ways or other architectural features are allowed to project into setbacks 12 feet into project required setbacks. B. Unexcused and un-ordered deck or patio or or below the first floor elevation may extend into the rear or side setbacks up to three (3) feet but no closer than five (5) feet from any lot line.

NOTES:

- *Minimum Lot Width Measured at Front Setback Line
- **Front and Side on a corner setback measured from back of work, and ROW in view shown.
1. This Appendix No. 1 is for standard lots of Single Lot Size and Development Standards.
2. A minimum of 20 FT driveway apron and with 7' car and 2' FT driveway apron with for 3 car garages could be allowed. Lot access with road.
3. Value the driveway apron width added to this row.
4. Unexcused and un-ordered deck or patio or or below the first floor elevation may extend into the rear or side setbacks up to three (3) feet but no closer than five (5) feet from any lot line.
5. Changes may occur as a result of 18 FT reserved to back of work.
6. Single lot sizes may be allowed for 18 ft, 20 ft, 25 ft, 30 ft, 35 ft, 40 ft, 45 ft, 50 ft, 55 ft, 60 ft, 65 ft, 70 ft, 75 ft, 80 ft, 85 ft, 90 ft, 95 ft, 100 ft, 105 ft, 110 ft, 115 ft, 120 ft, 125 ft, 130 ft, 135 ft, 140 ft, 145 ft, 150 ft, 155 ft, 160 ft, 165 ft, 170 ft, 175 ft, 180 ft, 185 ft, 190 ft, 195 ft, 200 ft, 205 ft, 210 ft, 215 ft, 220 ft, 225 ft, 230 ft, 235 ft, 240 ft, 245 ft, 250 ft, 255 ft, 260 ft, 265 ft, 270 ft, 275 ft, 280 ft, 285 ft, 290 ft, 295 ft, 300 ft, 305 ft, 310 ft, 315 ft, 320 ft, 325 ft, 330 ft, 335 ft, 340 ft, 345 ft, 350 ft, 355 ft, 360 ft, 365 ft, 370 ft, 375 ft, 380 ft, 385 ft, 390 ft, 395 ft, 400 ft, 405 ft, 410 ft, 415 ft, 420 ft, 425 ft, 430 ft, 435 ft, 440 ft, 445 ft, 450 ft, 455 ft, 460 ft, 465 ft, 470 ft, 475 ft, 480 ft, 485 ft, 490 ft, 495 ft, 500 ft, 505 ft, 510 ft, 515 ft, 520 ft, 525 ft, 530 ft, 535 ft, 540 ft, 545 ft, 550 ft, 555 ft, 560 ft, 565 ft, 570 ft, 575 ft, 580 ft, 585 ft, 590 ft, 595 ft, 600 ft, 605 ft, 610 ft, 615 ft, 620 ft, 625 ft, 630 ft, 635 ft, 640 ft, 645 ft, 650 ft, 655 ft, 660 ft, 665 ft, 670 ft, 675 ft, 680 ft, 685 ft, 690 ft, 695 ft, 700 ft, 705 ft, 710 ft, 715 ft, 720 ft, 725 ft, 730 ft, 735 ft, 740 ft, 745 ft, 750 ft, 755 ft, 760 ft, 765 ft, 770 ft, 775 ft, 780 ft, 785 ft, 790 ft, 795 ft, 800 ft, 805 ft, 810 ft, 815 ft, 820 ft, 825 ft, 830 ft, 835 ft, 840 ft, 845 ft, 850 ft, 855 ft, 860 ft, 865 ft, 870 ft, 875 ft, 880 ft, 885 ft, 890 ft, 895 ft, 900 ft, 905 ft, 910 ft, 915 ft, 920 ft, 925 ft, 930 ft, 935 ft, 940 ft, 945 ft, 950 ft, 955 ft, 960 ft, 965 ft, 970 ft, 975 ft, 980 ft, 985 ft, 990 ft, 995 ft, 1000 ft.
7. Lots back on Yeholow and N 200' from the lot line required to provide an additional setback.
8. Max. 90' for front garage loaded the accessory buildings to be taller and for they change loaded lots to be 90' ft.

MOUNTAIN VIEW ESTATES

PLANNED DEVELOPMENT

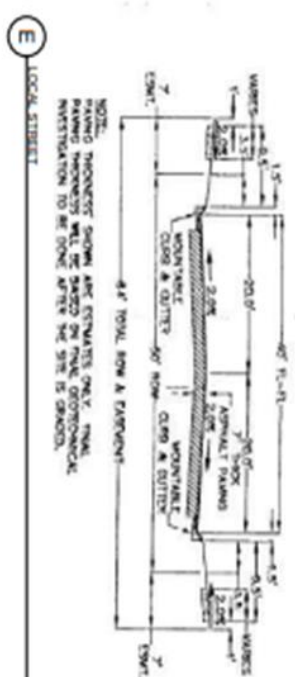
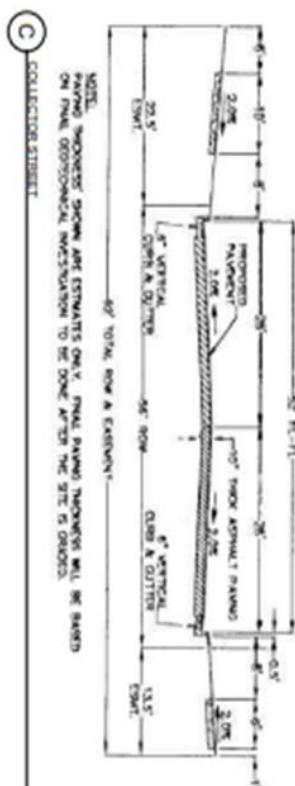
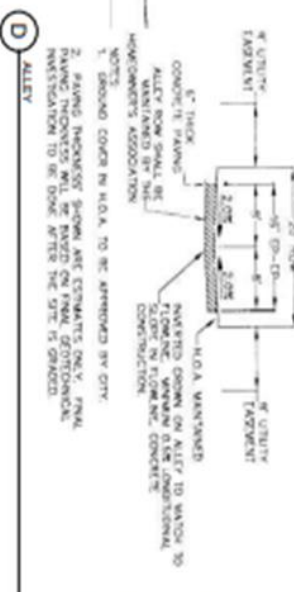
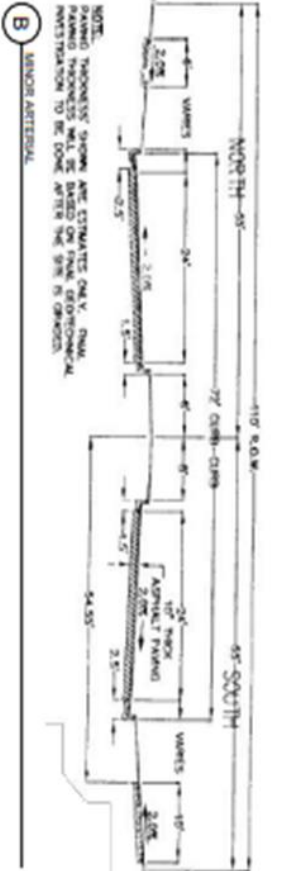
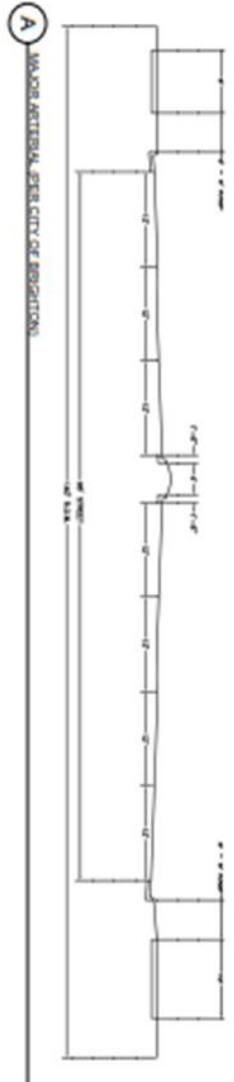
REGULATING PLAN

Redland
SHEET 08 OF 21

NO.	DATE	DESCRIPTION
1	10/27/21	1st Submittal
2	11/02/21	2nd Submittal
3	11/09/21	3rd Submittal
4	11/16/21	4th Submittal
5	11/23/21	5th Submittal
6	11/30/21	6th Submittal
7	12/07/21	7th Submittal
8	12/14/21	8th Submittal
9	12/21/21	9th Submittal
10	12/28/21	10th Submittal
11	1/04/22	11th Submittal
12	1/11/22	12th Submittal
13	1/18/22	13th Submittal
14	1/25/22	14th Submittal
15	2/01/22	15th Submittal
16	2/08/22	16th Submittal
17	2/15/22	17th Submittal
18	2/22/22	18th Submittal
19	2/29/22	19th Submittal
20	3/06/22	20th Submittal
21	3/13/22	21st Submittal
22	3/20/22	22nd Submittal
23	3/27/22	23rd Submittal
24	4/03/22	24th Submittal
25	4/10/22	25th Submittal
26	4/17/22	26th Submittal
27	4/24/22	27th Submittal
28	5/01/22	28th Submittal
29	5/08/22	29th Submittal
30	5/15/22	30th Submittal
31	5/22/22	31st Submittal
32	5/29/22	32nd Submittal
33	6/05/22	33rd Submittal
34	6/12/22	34th Submittal
35	6/19/22	35th Submittal
36	6/26/22	36th Submittal
37	7/03/22	37th Submittal
38	7/10/22	38th Submittal
39	7/17/22	39th Submittal
40	7/24/22	40th Submittal
41	7/31/22	41st Submittal
42	8/07/22	42nd Submittal
43	8/14/22	43rd Submittal
44	8/21/22	44th Submittal
45	8/28/22	45th Submittal
46	9/04/22	46th Submittal
47	9/11/22	47th Submittal
48	9/18/22	48th Submittal
49	9/25/22	49th Submittal
50	10/02/22	50th Submittal
51	10/09/22	51st Submittal
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70	2/19/23	70th Submittal
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72	3/05/23	72nd Submittal
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83	5/21/23	83rd Submittal
84	5/28/23	84th Submittal
85	6/04/23	85th Submittal
86	6/11/23	86th Submittal
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93	7/30/23	93rd Submittal
94	8/06/23	94th Submittal
95	8/13/23	95th Submittal
96	8/20/23	96th Submittal
97	8/27/23	97th Submittal
98	9/03/23	98th Submittal
99	9/10/23	99th Submittal
100	9/17/23	100th Submittal

8 OF 21

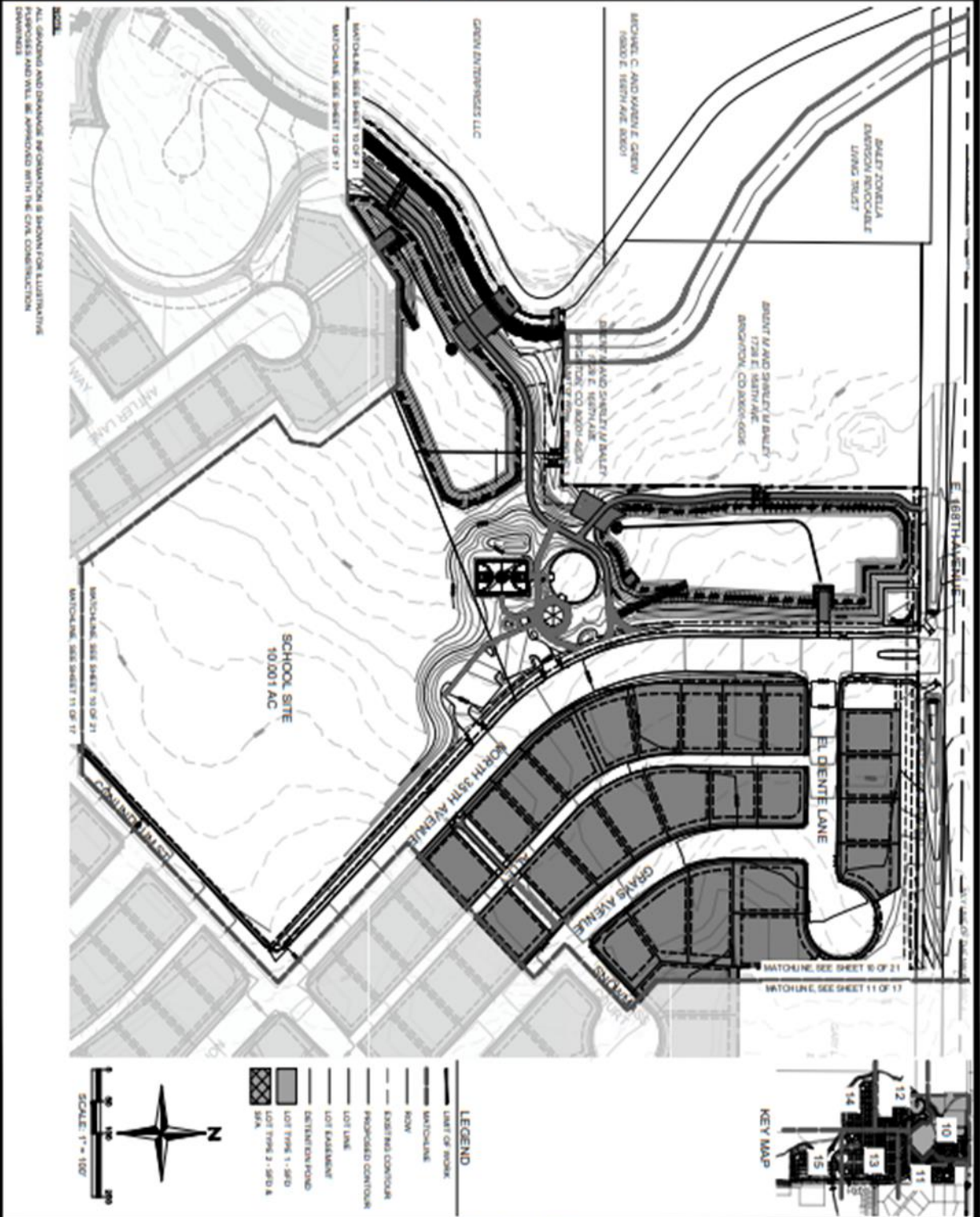
STREET SECTIONS (N.T.S.)



NOTE: THICKNESS SHOWN ARE ESTIMATES ONLY. FINAL PAVING THICKNESS SHALL BE BASED ON FINAL GEOTECHNICAL INVESTIGATION TO BE DONE AFTER THE SITE IS GRADED.

NOTE: THICKNESS SHOWN ARE ESTIMATES ONLY. FINAL PAVING THICKNESS SHALL BE BASED ON FINAL GEOTECHNICAL INVESTIGATION TO BE DONE AFTER THE SITE IS GRADED.

9 OF 21	MOUNTAIN VIEW ESTATES PLANNED DEVELOPMENT REGULATING PLAN	<table border="1"> <tr><th>DATE</th><th>BY</th><th>REVISION</th></tr> <tr><td>04.27.2021</td><td>JM</td><td>1st Submittal</td></tr> <tr><td>07.12.2021</td><td>JM</td><td>2nd Submittal</td></tr> <tr><td>08.24.2021</td><td>JM</td><td>3rd Submittal</td></tr> <tr><td>10.12.2021</td><td>JM</td><td>4th Submittal</td></tr> <tr><td>11.19.2021</td><td>JM</td><td>5th Submittal</td></tr> <tr><td>12.03.2021</td><td>JM</td><td>6th Submittal</td></tr> </table>	DATE	BY	REVISION	04.27.2021	JM	1st Submittal	07.12.2021	JM	2nd Submittal	08.24.2021	JM	3rd Submittal	10.12.2021	JM	4th Submittal	11.19.2021	JM	5th Submittal	12.03.2021	JM	6th Submittal	<table border="1"> <tr><td>DR</td><td>MM</td><td>11/21/2021</td></tr> <tr><td>DR</td><td>MM</td><td>07/25/2024</td></tr> <tr><td colspan="3">CHECKED</td></tr> <tr><td>APP</td><td>MM</td><td>07/25/2024</td></tr> <tr><td colspan="3">PROJECT NO.</td></tr> <tr><td colspan="3">SHEET SCALE</td></tr> <tr><td colspan="3">NET SCALE</td></tr> </table>	DR	MM	11/21/2021	DR	MM	07/25/2024	CHECKED			APP	MM	07/25/2024	PROJECT NO.			SHEET SCALE			NET SCALE			
	DATE	BY	REVISION																																											
	04.27.2021	JM	1st Submittal																																											
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APP	MM	07/25/2024																																												
PROJECT NO.																																														
SHEET SCALE																																														
NET SCALE																																														
<p style="text-align: center;">Redland GROUP INC.</p>																																														
<p style="text-align: center;">10101 S. CANTON STREET, SUITE 200 DENVER, CO 80231 PHONE: (303) 555-5555 WWW.REDLANDGROUP.COM</p>																																														



ALL GRADING AND DRAINAGE INFORMATION IS SHOWN FOR ILLUSTRATIVE PURPOSES AND WILL BE APPROVED WITH THE CIVIL CONSTRUCTION DIVISION.

SCALE



SCALE: 1" = 100'

LEGEND

- LOT OF ROCK
- MATCHLINE
- ROW
- EXISTING CONTOUR
- PROPOSED CONTOUR
- LOT LINE
- LOT EASEMENT
- DRAINAGE POND
- LOT TYPE 1 - SFD
- LOT TYPE 2 - SFD & SPA

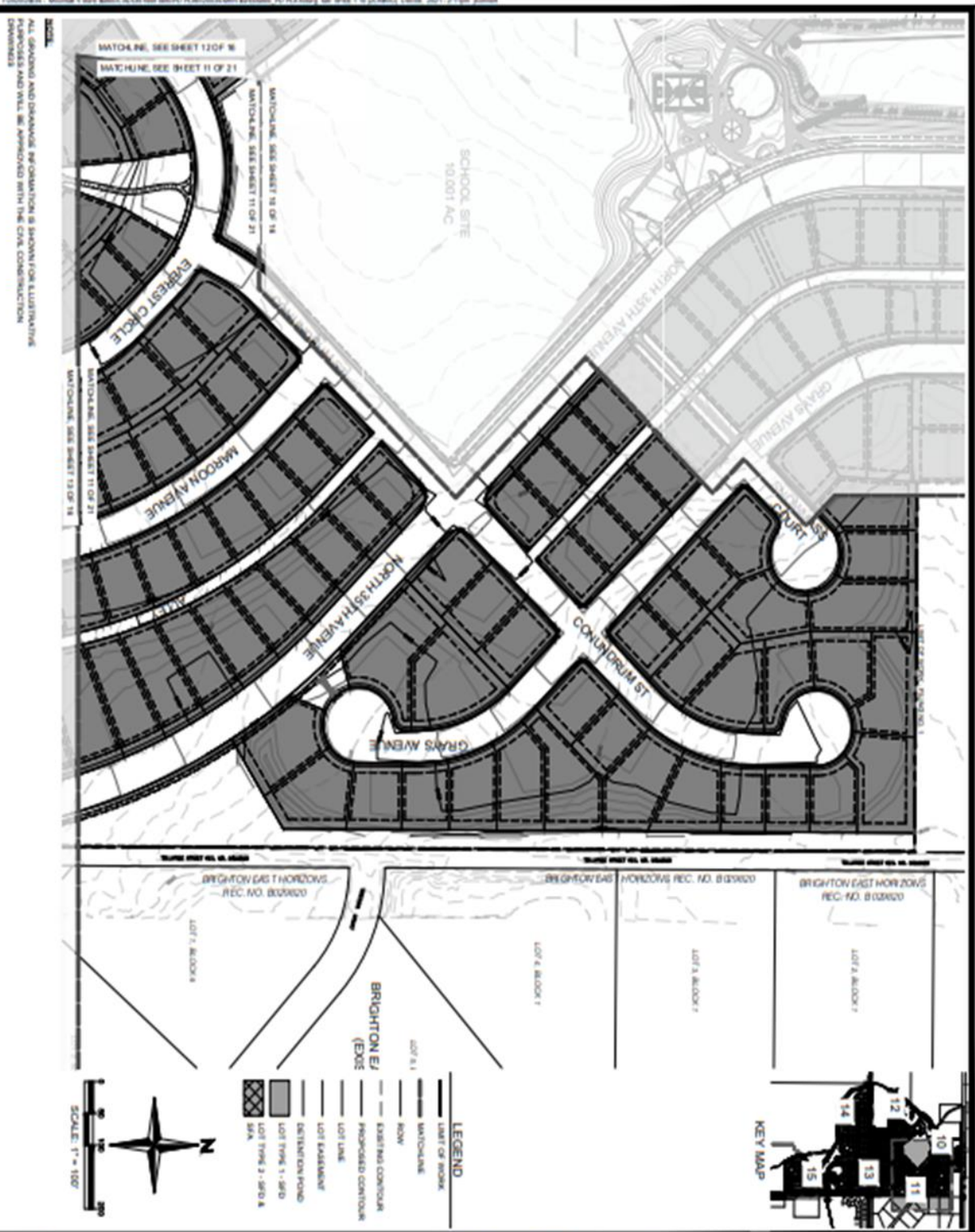


DATE: 10/20/21
 BY: J. [Name]
 CHECKED: [Name]
 APPROVED: [Name]
 PROJECT NO.: [Number]
 SHEET NO.: 10 OF 21

MOUNTAIN VIEW ESTATES
PLANNED DEVELOPMENT
REGULATING & DETAIL PLANS

10 OF 21





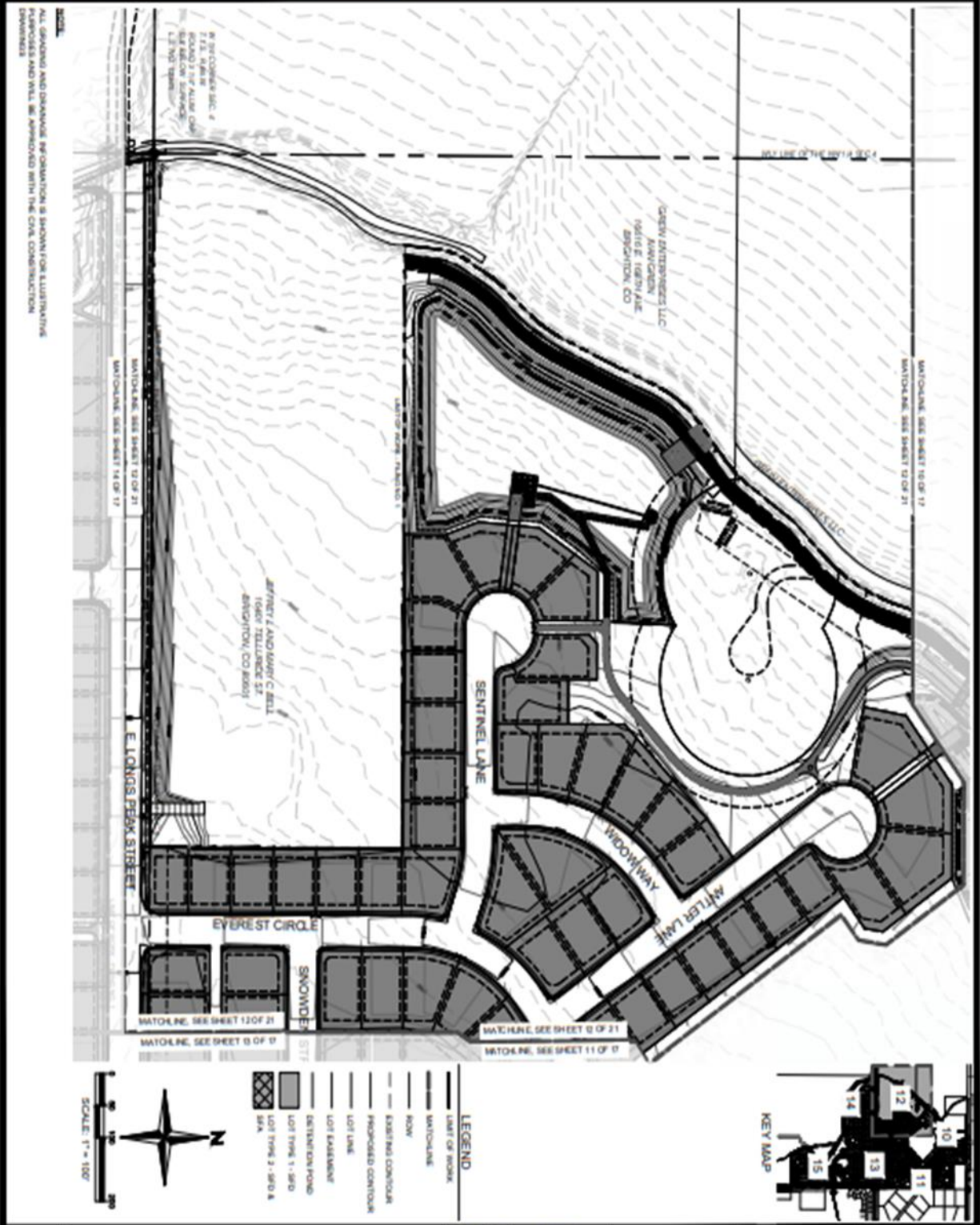
11 OF 21

MOUNTAIN VIEW ESTATES PLANNED DEVELOPMENT REGULATING & DETAIL PLANS

NO.	DATE	DESCRIPTION	BY	CHECKED
1	06/27/2021	1st Submission	JAN	DAVID
2	07/15/2021	2nd Submission	JAN	DAVID
3	08/24/2021	3rd Submission	JAN	DAVID
4	09/10/2021	4th Submission	JAN	DAVID
5	11/29/2021	5th Submission	JAN	DAVID
6	02/03/2022	6th Submission	JAN	DAVID

DRAWN	DATE	CHECKED	DATE
JAN		DAVID	
DAVID		JAN	
JAN		JAN	
JAN		JAN	
JAN		JAN	

Redland
 6000 WEST FLINTS ROAD
 DENVER, CO 80231



12 OF 21

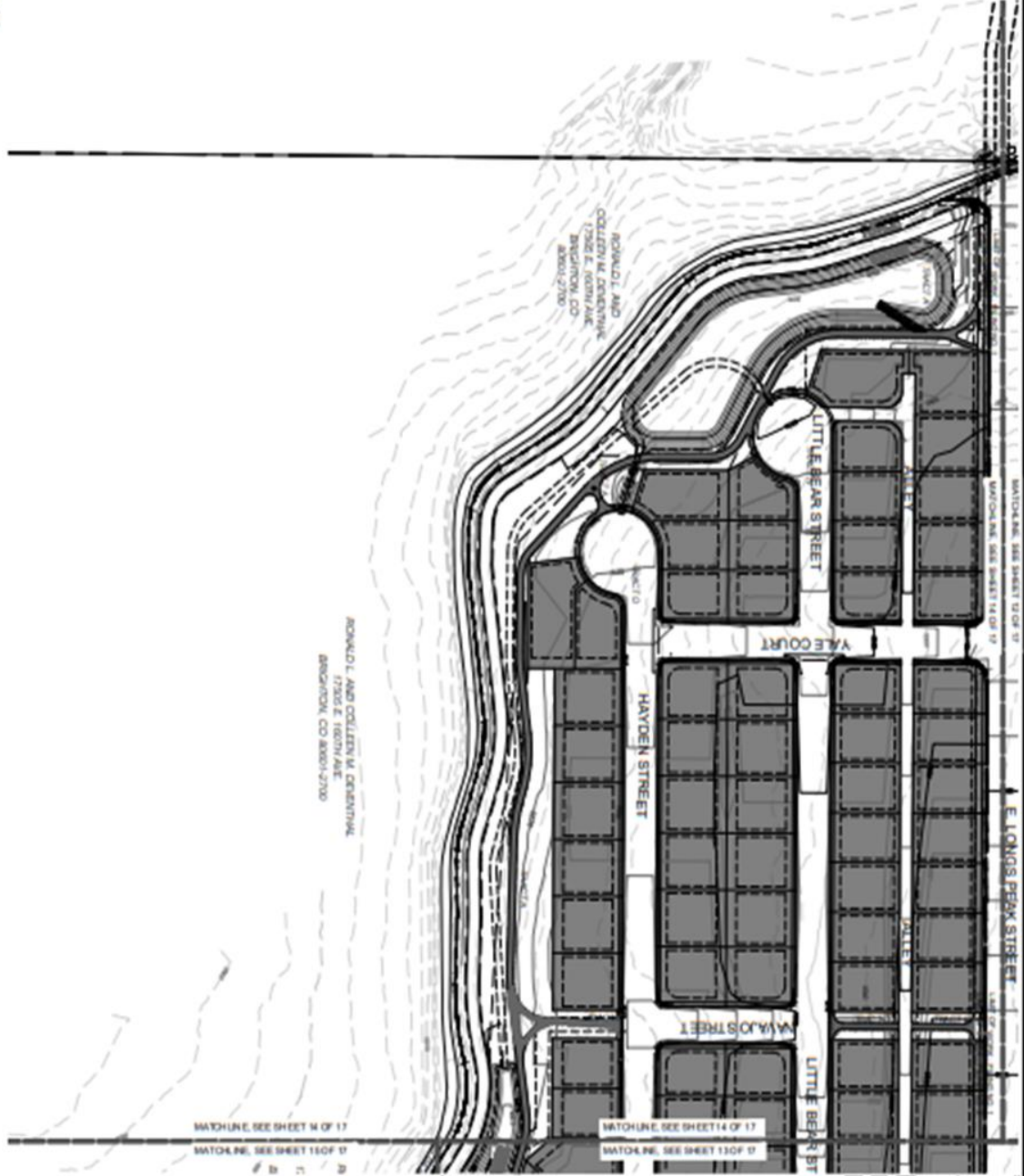
**MOUNTAIN VIEW ESTATES
PLANNED DEVELOPMENT
REGULATING & DETAIL PLANS**

DATE	BY	REVISION
04.27.2021	JL	1st Submittal
07.13.2021	JL	2nd Submittal
08.24.2021	JL	3rd Submittal
10.12.2021	JL	4th Submittal
11.18.2021	JL	5th Submittal
12.03.2021	JL	6th Submittal

NO.	DATE	DESCRIPTION
01	04.27.2021	PREPARED
02	07.13.2021	REVISIONS
03	08.24.2021	REVISIONS
04	10.12.2021	REVISIONS
05	11.18.2021	REVISIONS
06	12.03.2021	REVISIONS

Redland
REDLAND PLANNING GROUP

ALL GRADING AND DRAINAGE INFORMATION IS SHOWN FOR ILLUSTRATIVE PURPOSES AND WILL BE APPROVED WITH THE CIVIL CONSTRUCTION DRAWINGS



RONALD L. AND COLLEEN M. CRENSHAW
17302 E. 160TH AVE.
BENGTON, CO 80001-2700

RONALD L. AND
COLLEEN M. CRENSHAW
17302 E. 160TH AVE.
BENGTON, CO
80001-2700



- 1. LIGHT GRAY: LIGHT GRAY
- 2. DASHED: WATCHLINE
- 3. DOTTED: ROAD
- 4. DOTTED: EXISTING CONTOUR
- 5. DOTTED: PROPOSED CONTOUR
- 6. DOTTED: LOT LINE
- 7. DOTTED: LOT EASEMENT
- 8. DOTTED: DETENTION POND
- 9. DOTTED: LOT TYPE 1 - 1870 & 1875
- 10. DOTTED: LOT TYPE 2 - 1870 & 1875

LEGEND

DATE	NO.	DESCRIPTION	BY	APP'D
04/27/2021	1	1st Submittal	CRASH	JMB
07/13/2021	2	2nd Submittal	CRASH	JMB
08/24/2021	3	3rd Submittal	CRASH	JMB
09/12/2021	4	4th Submittal	CRASH	JMB
11/18/2021	5	5th Submittal	CRASH	JMB
10/03/2021	6	6th Submittal	CRASH	JMB



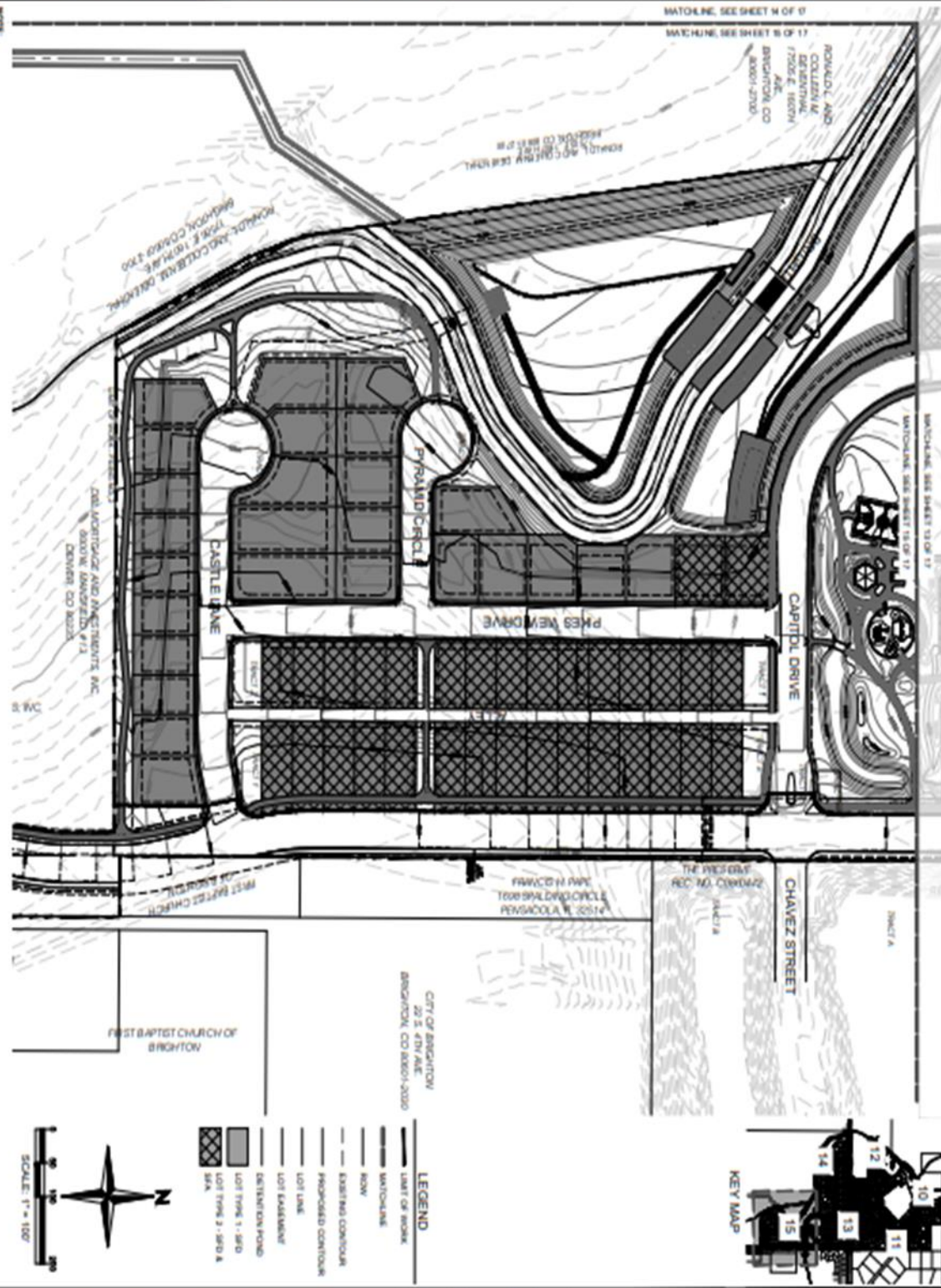
**MOUNTAIN VIEW ESTATES
PLANNED DEVELOPMENT
REGULATING & DETAIL PLANS**

DATE	NO.	DESCRIPTION	BY	APP'D
04/27/2021	1	1st Submittal	CRASH	JMB
07/13/2021	2	2nd Submittal	CRASH	JMB
08/24/2021	3	3rd Submittal	CRASH	JMB
09/12/2021	4	4th Submittal	CRASH	JMB
11/18/2021	5	5th Submittal	CRASH	JMB
10/03/2021	6	6th Submittal	CRASH	JMB

Redland
BUILD. BEST PLACES BUILT

17302 E. 160TH AVE.
BENGTON, CO 80001-2700
TEL: 303.461.1111
WWW.REDLAND.COM

ALL GRADING AND DRAINAGE INFORMATION IS SHOWING ILLUSTRATIVE PURPOSES AND WILL BE APPROVED WITH THE CIVIL CONSTRUCTION ENGINEER'S DRAWINGS.

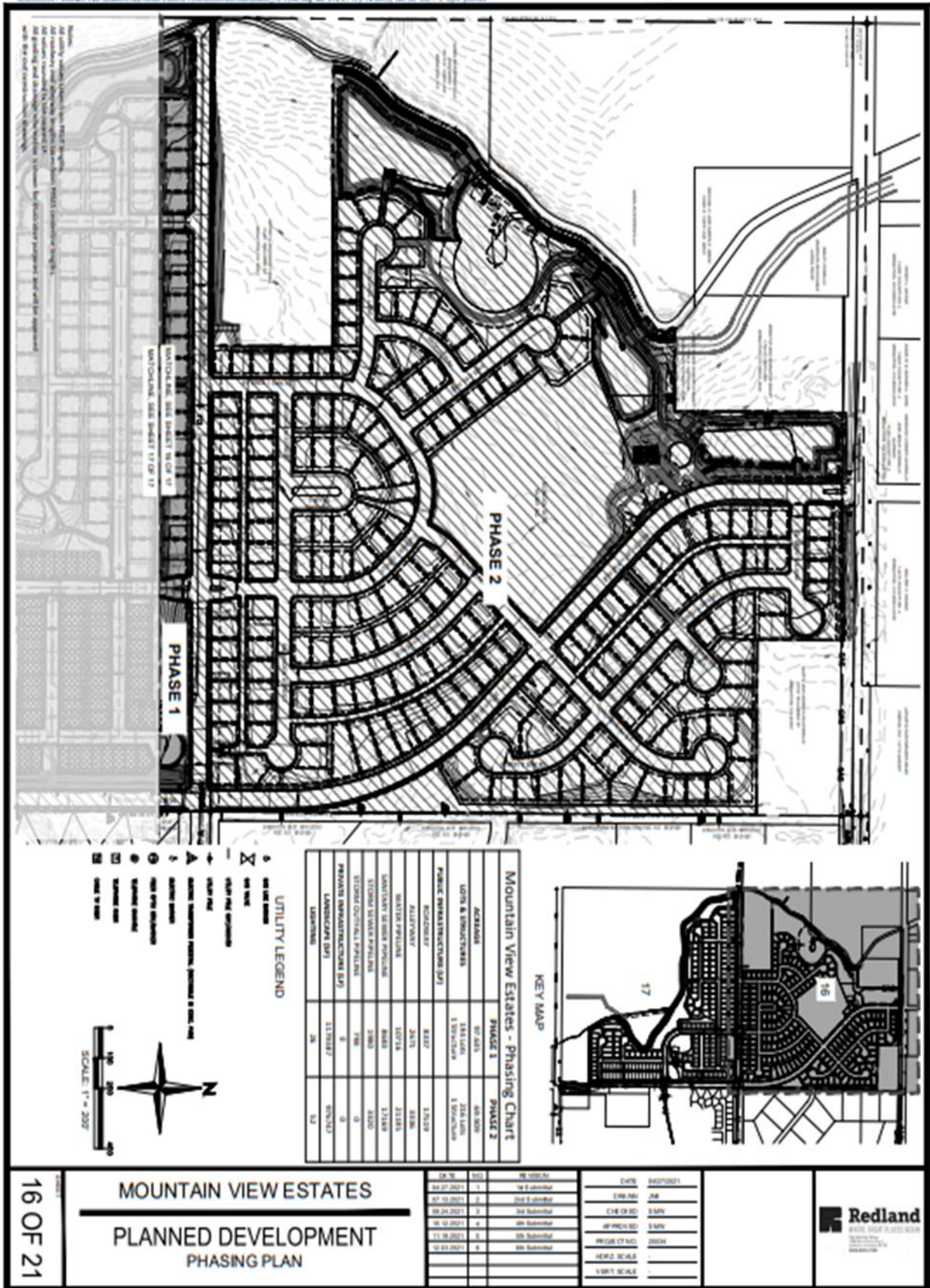


15 OF 21

MOUNTAIN VIEW ESTATES PLANNED DEVELOPMENT REGULATING & DETAIL PLANS

DATE	DESCRIPTION	BY
09/27/2021	REVISED	XXX
08/24/2021	REVISED	XXX
08/24/2021	REVISED	XXX
08/24/2021	REVISED	XXX
08/24/2021	REVISED	XXX
08/24/2021	REVISED	XXX
08/24/2021	REVISED	XXX
08/24/2021	REVISED	XXX
08/24/2021	REVISED	XXX





NOTE: THIS PLAN IS PREPARED FOR THE CITY OF REDLAND AND IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER AND ARCHITECT. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE ENGINEER AND ARCHITECT MAKE NO REPRESENTATION AS TO THE ACCURACY OF THE UTILITIES SHOWN. ALL UTILITIES SHOWN ARE SUBJECT TO CHANGE WITHOUT NOTICE. THE CITY OF REDLAND AND THE ENGINEER AND ARCHITECT ARE NOT RESPONSIBLE FOR ANY DAMAGES OR LOSSES RESULTING FROM THE USE OF THIS PLAN.



Mountain View Estates - Phasing Chart

ADDRESS	PHASE 1	PHASE 2
LOT 8 SUBDIVISION	07 10/21	00 09/08
LOT 9 SUBDIVISION	08 10/21	01 09/08
LOT 10 SUBDIVISION	09 10/21	02 09/08
LOT 11 SUBDIVISION	10 10/21	03 09/08
LOT 12 SUBDIVISION	11 10/21	04 09/08
LOT 13 SUBDIVISION	12 10/21	05 09/08
LOT 14 SUBDIVISION	13 10/21	06 09/08
LOT 15 SUBDIVISION	14 10/21	07 09/08
LOT 16 SUBDIVISION	15 10/21	08 09/08
LOT 17 SUBDIVISION	16 10/21	09 09/08
LOT 18 SUBDIVISION	17 10/21	10 09/08
LOT 19 SUBDIVISION	18 10/21	11 09/08
LOT 20 SUBDIVISION	19 10/21	12 09/08
LOT 21 SUBDIVISION	20 10/21	13 09/08
LOT 22 SUBDIVISION	21 10/21	14 09/08
LOT 23 SUBDIVISION	22 10/21	15 09/08
LOT 24 SUBDIVISION	23 10/21	16 09/08
LOT 25 SUBDIVISION	24 10/21	17 09/08
LOT 26 SUBDIVISION	25 10/21	18 09/08
LOT 27 SUBDIVISION	26 10/21	19 09/08
LOT 28 SUBDIVISION	27 10/21	20 09/08
LOT 29 SUBDIVISION	28 10/21	21 09/08
LOT 30 SUBDIVISION	29 10/21	22 09/08
LOT 31 SUBDIVISION	30 10/21	23 09/08
LOT 32 SUBDIVISION	31 10/21	24 09/08
LOT 33 SUBDIVISION	32 10/21	25 09/08
LOT 34 SUBDIVISION	33 10/21	26 09/08
LOT 35 SUBDIVISION	34 10/21	27 09/08
LOT 36 SUBDIVISION	35 10/21	28 09/08
LOT 37 SUBDIVISION	36 10/21	29 09/08
LOT 38 SUBDIVISION	37 10/21	30 09/08
LOT 39 SUBDIVISION	38 10/21	31 09/08
LOT 40 SUBDIVISION	39 10/21	32 09/08
LOT 41 SUBDIVISION	40 10/21	33 09/08
LOT 42 SUBDIVISION	41 10/21	34 09/08
LOT 43 SUBDIVISION	42 10/21	35 09/08
LOT 44 SUBDIVISION	43 10/21	36 09/08
LOT 45 SUBDIVISION	44 10/21	37 09/08
LOT 46 SUBDIVISION	45 10/21	38 09/08
LOT 47 SUBDIVISION	46 10/21	39 09/08
LOT 48 SUBDIVISION	47 10/21	40 09/08
LOT 49 SUBDIVISION	48 10/21	41 09/08
LOT 50 SUBDIVISION	49 10/21	42 09/08
LOT 51 SUBDIVISION	50 10/21	43 09/08
LOT 52 SUBDIVISION	51 10/21	44 09/08
LOT 53 SUBDIVISION	52 10/21	45 09/08
LOT 54 SUBDIVISION	53 10/21	46 09/08
LOT 55 SUBDIVISION	54 10/21	47 09/08
LOT 56 SUBDIVISION	55 10/21	48 09/08
LOT 57 SUBDIVISION	56 10/21	49 09/08
LOT 58 SUBDIVISION	57 10/21	50 09/08
LOT 59 SUBDIVISION	58 10/21	51 09/08
LOT 60 SUBDIVISION	59 10/21	52 09/08
LOT 61 SUBDIVISION	60 10/21	53 09/08
LOT 62 SUBDIVISION	61 10/21	54 09/08
LOT 63 SUBDIVISION	62 10/21	55 09/08
LOT 64 SUBDIVISION	63 10/21	56 09/08
LOT 65 SUBDIVISION	64 10/21	57 09/08
LOT 66 SUBDIVISION	65 10/21	58 09/08
LOT 67 SUBDIVISION	66 10/21	59 09/08
LOT 68 SUBDIVISION	67 10/21	60 09/08
LOT 69 SUBDIVISION	68 10/21	61 09/08
LOT 70 SUBDIVISION	69 10/21	62 09/08
LOT 71 SUBDIVISION	70 10/21	63 09/08
LOT 72 SUBDIVISION	71 10/21	64 09/08
LOT 73 SUBDIVISION	72 10/21	65 09/08
LOT 74 SUBDIVISION	73 10/21	66 09/08
LOT 75 SUBDIVISION	74 10/21	67 09/08
LOT 76 SUBDIVISION	75 10/21	68 09/08
LOT 77 SUBDIVISION	76 10/21	69 09/08
LOT 78 SUBDIVISION	77 10/21	70 09/08
LOT 79 SUBDIVISION	78 10/21	71 09/08
LOT 80 SUBDIVISION	79 10/21	72 09/08
LOT 81 SUBDIVISION	80 10/21	73 09/08
LOT 82 SUBDIVISION	81 10/21	74 09/08
LOT 83 SUBDIVISION	82 10/21	75 09/08
LOT 84 SUBDIVISION	83 10/21	76 09/08
LOT 85 SUBDIVISION	84 10/21	77 09/08
LOT 86 SUBDIVISION	85 10/21	78 09/08
LOT 87 SUBDIVISION	86 10/21	79 09/08
LOT 88 SUBDIVISION	87 10/21	80 09/08
LOT 89 SUBDIVISION	88 10/21	81 09/08
LOT 90 SUBDIVISION	89 10/21	82 09/08
LOT 91 SUBDIVISION	90 10/21	83 09/08
LOT 92 SUBDIVISION	91 10/21	84 09/08
LOT 93 SUBDIVISION	92 10/21	85 09/08
LOT 94 SUBDIVISION	93 10/21	86 09/08
LOT 95 SUBDIVISION	94 10/21	87 09/08
LOT 96 SUBDIVISION	95 10/21	88 09/08
LOT 97 SUBDIVISION	96 10/21	89 09/08
LOT 98 SUBDIVISION	97 10/21	90 09/08
LOT 99 SUBDIVISION	98 10/21	91 09/08
LOT 100 SUBDIVISION	99 10/21	92 09/08

UTILITY LEGEND

- ON LOT BOUNDARY
- ON LOT
- ON RIGHT OF WAY
- ON STATE HIGHWAY
- ON HIGHWAY
- ON AIRWAY
- ON RAILROAD
- ON CANAL
- ON DRAINAGE CANAL
- ON IRRIGATION CANAL
- ON WINDMILL CANAL
- ON OTHER CANAL
- ON OTHER

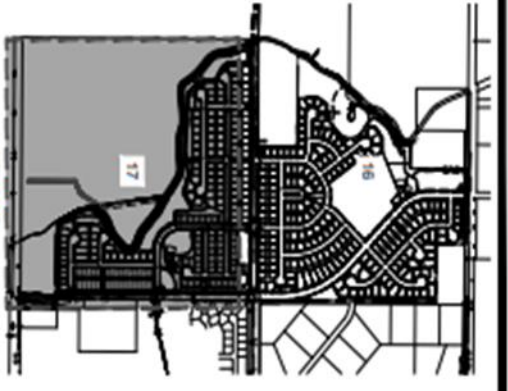
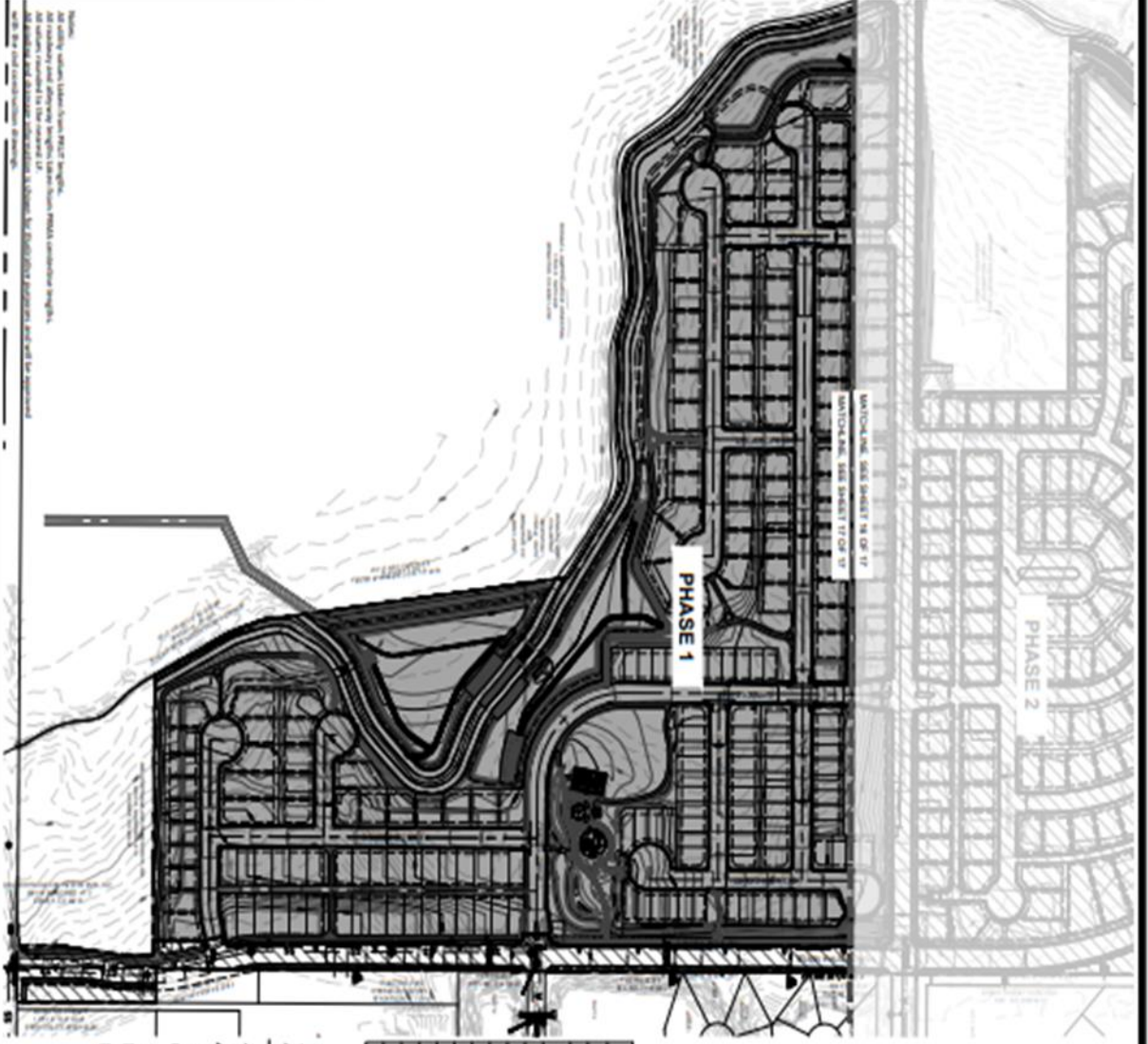


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MOUNTAIN VIEW ESTATES
PLANNED DEVELOPMENT
PHASING PLAN

DATE	10/12/2011
BY	JAN
CHECKED BY	JAN
APPROVED BY	JAN
PROJECT NO.	10000
SCALE	1" = 200'

Redland
CITY OF REDLAND
ENGINEER



Mountain View Estates - Phasing Chart

ADDRESS	PHASE 1		PHASE 2	
	LOT #	ACRES	LOT #	ACRES
1001 N. MOUNTAIN VIEW	181	2.18	221	2.18
1002 N. MOUNTAIN VIEW	182	2.18	222	2.18
1003 N. MOUNTAIN VIEW	183	2.18	223	2.18
1004 N. MOUNTAIN VIEW	184	2.18	224	2.18
1005 N. MOUNTAIN VIEW	185	2.18	225	2.18
1006 N. MOUNTAIN VIEW	186	2.18	226	2.18
1007 N. MOUNTAIN VIEW	187	2.18	227	2.18
1008 N. MOUNTAIN VIEW	188	2.18	228	2.18
1009 N. MOUNTAIN VIEW	189	2.18	229	2.18
1010 N. MOUNTAIN VIEW	190	2.18	230	2.18
1011 N. MOUNTAIN VIEW	191	2.18	231	2.18
1012 N. MOUNTAIN VIEW	192	2.18	232	2.18
1013 N. MOUNTAIN VIEW	193	2.18	233	2.18
1014 N. MOUNTAIN VIEW	194	2.18	234	2.18
1015 N. MOUNTAIN VIEW	195	2.18	235	2.18
1016 N. MOUNTAIN VIEW	196	2.18	236	2.18
1017 N. MOUNTAIN VIEW	197	2.18	237	2.18
1018 N. MOUNTAIN VIEW	198	2.18	238	2.18
1019 N. MOUNTAIN VIEW	199	2.18	239	2.18
1020 N. MOUNTAIN VIEW	200	2.18	240	2.18
1021 N. MOUNTAIN VIEW	201	2.18	241	2.18
1022 N. MOUNTAIN VIEW	202	2.18	242	2.18
1023 N. MOUNTAIN VIEW	203	2.18	243	2.18
1024 N. MOUNTAIN VIEW	204	2.18	244	2.18
1025 N. MOUNTAIN VIEW	205	2.18	245	2.18
1026 N. MOUNTAIN VIEW	206	2.18	246	2.18
1027 N. MOUNTAIN VIEW	207	2.18	247	2.18
1028 N. MOUNTAIN VIEW	208	2.18	248	2.18
1029 N. MOUNTAIN VIEW	209	2.18	249	2.18
1030 N. MOUNTAIN VIEW	210	2.18	250	2.18

UTILITY LEGEND

- Water Main
- Sewer Main
- Electric Main
- Gas Main
- Water Valve
- Sewer Valve
- Electric Valve
- Gas Valve
- Water Meter
- Sewer Meter
- Electric Meter
- Gas Meter
- Water Tap
- Sewer Tap
- Electric Tap
- Gas Tap
- Water Hydrant
- Water Tower
- Water Pump Station
- Sewer Pump Station
- Electric Substation
- Gas Substation

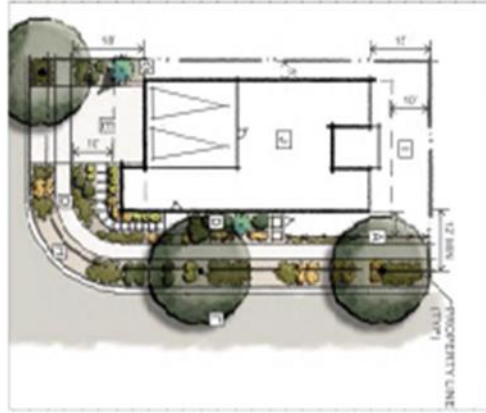
SCALE: 1" = 200'

MOUNTAIN VIEW ESTATES PLANNED DEVELOPMENT PHASING PLAN

17 OF 21

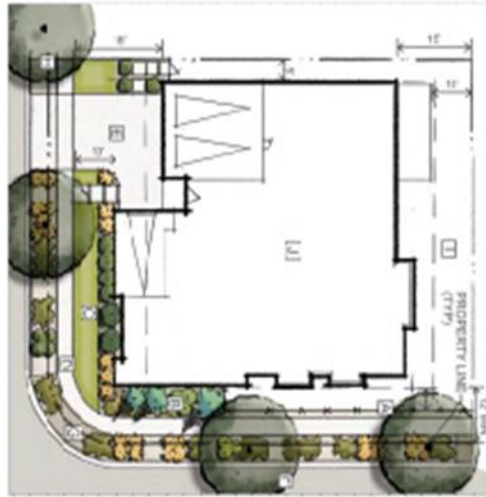
Redland
WATER AND LAND SOLUTIONS

DATE: 01/25/2024
DRAWN BY: JRM
CHECKED BY: JRM
APP. BY: JRM
PROJECT NO.: 2024-001
SHEET NO.: 17 OF 21



SINGLE FAMILY FRONT LOADED SMALL LOT

ITEM	SE	TOTAL SE	PERCENT
IRRIGATED TURF	0	0	0%
ROCK MULCH	576	1,199	49.8%
SHRUB COVERAGE	918	1,199	77.2%



SINGLE FAMILY FRONT LOADED MED-LARGE LOT

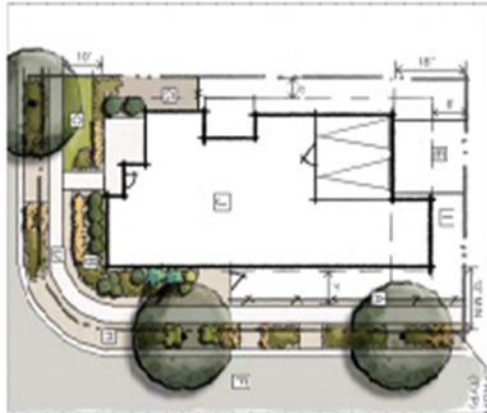
ITEM	SE	TOTAL SE	PERCENT
IRRIGATED TURF	427	1,904	22.4%
ROCK MULCH	653	1,904	43.8%
SHRUB COVERAGE	1,098	1,904	57.6%



- LEGEND**
- 1. Grass Bed
 - 2. Irrigated Turf
 - 3. Mulch
 - 4. Driveway Apron
 - 5. Public Street
 - 6. Wood Mulch
 - 7. Decorative Rock Mulch
 - 8. River and Stone Veneer (Not Included)
 - 9. Building Footprint (provided by Building Designer and/or Owner)
- NOTES**
 ALL BUILDINGS TO SUBMIT FINAL RESIDENTIAL UNLULI LANDSCAPE PLANS WITH APPLICATION TO MDC FOR APPROVAL PRIOR TO CONSTRUCTION.

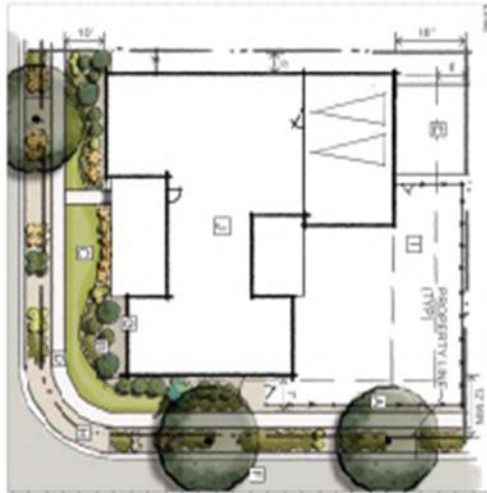
20 OF 21	MOUNTAIN VIEW ESTATES	<table border="1"> <tr><td>DATE</td><td>2/18/21</td></tr> <tr><td>BY</td><td>JAN</td></tr> <tr><td>REVISION</td><td>NO</td></tr> <tr><td>PROJECT NO.</td><td>2021-001</td></tr> <tr><td>PROJECT NAME</td><td>2021-001</td></tr> <tr><td>CLIENT</td><td>REDLAND</td></tr> <tr><td>SCALE</td><td>AS SHOWN</td></tr> </table>	DATE	2/18/21	BY	JAN	REVISION	NO	PROJECT NO.	2021-001	PROJECT NAME	2021-001	CLIENT	REDLAND	SCALE	AS SHOWN	
	DATE	2/18/21															
BY	JAN																
REVISION	NO																
PROJECT NO.	2021-001																
PROJECT NAME	2021-001																
CLIENT	REDLAND																
SCALE	AS SHOWN																
PLANNED DEVELOPMENT	ADDENDUM NO. 3 - ON LOT TYPICALS																

SINGLE FAMILY ALLEY LOADED SMALL LOT



ITEM	SE	TOTAL SE	PERCENT
IRRIGATED TURF	126	1,798	7%
ROCK MULCH	699	1,798	39.5%
SHRUB COVERAGE	1,005	1,798	56%

SINGLE FAMILY ALLEY LOADED MED-LARGE LOT



ITEM	SE	TOTAL SE	PERCENT
IRRIGATED TURF	472	2,192	21.5%
ROCK MULCH	970	2,192	44.3%
SHRUB COVERAGE	1,295	2,192	59.1%



- LEGEND**
- [1] Fencing
 - [2] Shade Ball
 - [3] Irrigated Turf
 - [4] Walk
 - [5] Overway Apron
 - [6] Public Street
 - [7] Mulch Mulch
 - [8] Decorative Rock Mulch
 - [9] Paper and Glass Vases (Not Included)
 - [10] Building Footprint (included for landscape process only, final footprints to vary based on designer and product)
- NOTES**
- ALL BUILDINGS TO SUBMIT FINAL NECESSARILY UNLUT LANDSCAPE PLANS (WITH ILLUSTRATION) TO MOS FOR APPROVAL PRIOR TO CONSTRUCTION.

<p>21 OF 21</p>	<p>MOUNTAIN VIEW ESTATES</p> <hr/> <p>PLANNED DEVELOPMENT</p> <p>ADDENDUM NO. 3 - ON LOT TYPICALS</p>	<p>Redland</p> <p>LANDSCAPE ARCHITECTS</p> <p>10000 W. CENTRAL EXPRESSWAY, SUITE 100 DENVER, CO 80231 TEL: 303.751.1100 WWW.REDLANDLANDSCAPE.COM</p>	<p>DATE: 04/24/24</p> <p>BY: JAH</p> <p>CHECKED BY: JAH</p> <p>DATE: 04/24/24</p> <p>PROJECT NO.: 2021-001</p> <p>CLIENT: MOUNTAIN VIEW ESTATES</p> <p>PROJECT NAME: MOUNTAIN VIEW ESTATES</p>
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