

SUBDIVISION PLAN OF BRIGHTON RIDGE

PARCELS LOCATED IN THE NORTHEAST QUARTER OF SECTION 1,
TOWNSHIP 2 SOUTH, RANGE 67 WEST AND IN THE NORTHWEST QUARTER OF SECTION 6,
TOWNSHIP 2 SOUTH, RANGE 66 WEST, ALL OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF BRIGHTON, COUNTY OF ADAMS, STATE OF COLORADO

LEGAL DESCRIPTION

PER FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT FILE NO. 100-N0021364-010-TO2, AMENDMENT NO. 5, WITH AN AMENDMENT DATE OF JULY 15, 2019.

PARCEL A:
A TRACT OF LAND LOCATED IN THE EAST ONE HALF OF THE NORTHEAST ONE-QUARTER SECTION 1, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF BRIGHTON, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS:
THE EAST LINE OF THE EAST ONE HALF OF THE NORTHEAST ONE-QUARTER OF SECTION 1, BEING MONUMENTED AT THE NORTHEAST CORNER OF SECTION 1 BY A 3 1/4 INCH ALUMINUM CAP STAMPED "WSSI PLS NO. 22088" AND THE SOUTHEAST CORNER OF THE EAST HALF OF THE NORTHEAST ONE-QUARTER CORNER BY A 3 1/4 INCH ALUMINUM CAP STAMPED "WSSI PLS NO. 22088" WITH A LINE BETWEEN ASSUMED TO BEAR SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST.

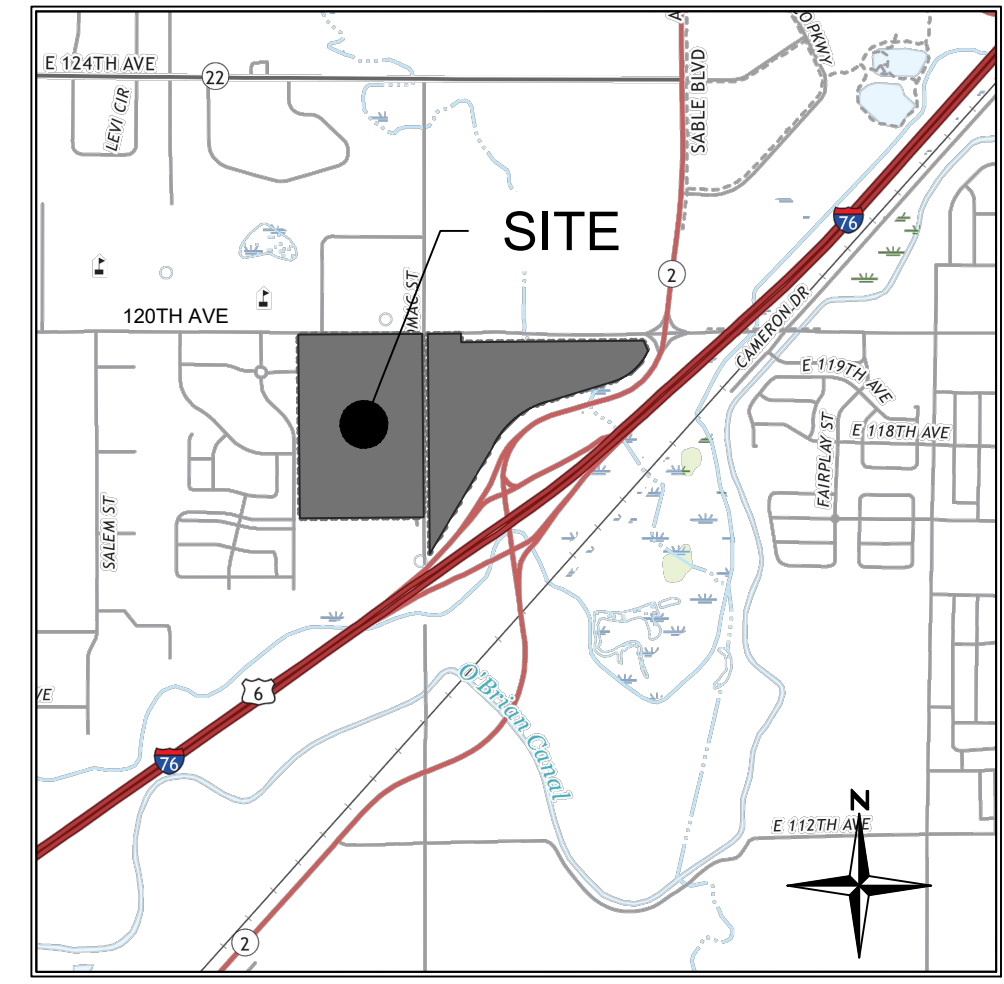
COMMENCING AT THE NORTHEAST CORNER OF SAID EAST HALF OF THE NORTHEAST ONE-QUARTER;
THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST ALONG THE EAST LINE OF SAID EAST ONE HALF OF THE NORTHEAST ONE-QUARTER, A DISTANCE OF 395.00 FEET;
THENCE NORTH 89 DEGREES 42 MINUTES 43 SECONDS WEST A DISTANCE OF 30.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF POTOMAC STREET, SAID POINT BEING THE TRUE POINT OF BEGINNING AND ALSO BEING THE SOUTHEAST CORNER OF LOT 1, GREEN HOMESTEAD SUBDIVISION, RECEPTION NO. B860693, ADAMS COUNTY PUBLIC RECORDS;
THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 1543.81 FEET, TO THE NORTHEAST CORNER OF SCHOOL DISTRICT 27J P.U.D., FINAL PLAT, RECEPTION NO. C0886992, ADAMS COUNTY PUBLIC RECORDS;
THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST ALONG THE NORTH LINE OF SAID SCHOOL DISTRICT 27J P.U.D., FINAL PLAT, A DISTANCE OF 1288.91 FEET TO A POINT ON THE WEST LINE OF THE EAST HALF OF THE NORTHEAST ONE-QUARTER;
THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS WEST ALONG THE WEST LINE OF SAID EAST HALF OF THE NORTHEAST ONE-QUARTER, A DISTANCE OF 1915.30 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF WEST 120TH AVENUE LYING 30.00 FEET SOUTH OF THE NORTH LINE OF SAID EAST ONE HALF OF THE NORTHEAST ONE-QUARTER;
THENCE SOUTH 89 DEGREES 42 MINUTES 43 SECONDS EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 924.01 FEET TO THE NORTHWEST CORNER OF SAID LOT 1, GREEN HOMESTEAD SUBDIVISION;
THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST ALONG THE WEST LINE OF SAID LOT 1, A DISTANCE OF 365.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1, GREEN HOMESTEAD SUBDIVISION;
THENCE ALONG THE SOUTH LINE OF SAID LOT 1, SOUTH 89 DEGREES 42 MINUTES 43 SECONDS EAST A DISTANCE OF 365.00 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY OF POTOMAC STREET, SAID POINT BEING THE SOUTHEAST CORNER OF SAID LOT 1 OF GREEN HOMESTEAD SUBDIVISION AND ALSO BEING THE TRUE POINT OF BEGINNING.

PARCEL B:
LOT 1,
GREEN HOMESTEAD SUBDIVISION, CITY OF BRIGHTON,
COUNTY OF ADAMS, STATE OF COLORADO.

PARCEL C:
A PORTION OF SECTION 6, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, TO WIT:
THAT PORTION OF THE NORTHWEST 1/4 LYING NORTHWESTERLY OF THE RIGHT OF WAY OF THE CHICAGO, BURLINGTON AND QUINCY RAILROAD;
EXCEPTING THEREFROM THOSE PORTIONS DESCRIBED IN DEED RECORDED MARCH 16, 1934 IN BOOK 215 AT PAGE 13, JANUARY 3, 1957 IN BOOK 641 AT PAGE 521, OCTOBER 18, 1958 IN BOOK 739 AT PAGE 240; AND MARCH 12, 1998 IN BOOK 5261 AT PAGE 289;
AND EXCEPT THOSE PORTIONS LYING WITHIN THE RIGHTS-OF-WAY OF POTOMAC STREET AND EAST 120TH AVENUE.

NOTE: THE ABOVE PARCEL IS ALSO DESCRIBED AS FOLLOWS:
A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 6, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF BRIGHTON, COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 6;
THENCE SOUTH 86 DEGREES 20 MINUTES 56 SECONDS EAST A DISTANCE OF 375.79 FEET TO THE TRUE POINT OF BEGINNING;
THENCE ALONG THE RIGHT OF WAY LINE OF A TRACT OR PARCEL FOR THE COLORADO DEPARTMENT OF TRANSPORTATION, AS RECORDED IN BOOK 5261 AT PAGE 299, IN THE RECORDS OF ADAMS COUNTY, THE FOLLOWING SEVEN (7) COURSES:
1. THENCE SOUTH 00 DEGREES 55 MINUTES 40 SECONDS EAST A DISTANCE OF 90.00 FEET;
2. THENCE NORTH 89 DEGREES 04 MINUTES 20 SECONDS EAST A DISTANCE OF 1,900.00 FEET;
3. THENCE SOUTH 23 DEGREES 57 MINUTES 01 SECONDS EAST A DISTANCE OF 116.18 FEET;
4. THENCE ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 585.38 FEET AND A CENTRAL ANGLE OF 48 DEGREES 47 MINUTES 21 SECONDS AN ARC DISTANCE OF 498.47 FEET (THE CHORD OF SAID ARC BEARS SOUTH 48 DEGREES 14 MINUTES 36 SECONDS WEST, A DISTANCE OF 483.55 FEET);
5. THENCE SOUTH 72 DEGREES 38 MINUTES 17 SECONDS WEST A DISTANCE OF 686.75 FEET;
6. THENCE ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 900.00 FEET AND A CENTRAL ANGLE OF 49 DEGREES 48 MINUTES 44 SECONDS, AN ARC DISTANCE OF 782.45 FEET (THE CHORD OF SAID ARC BEARS SOUTH 51 DEGREES 05 MINUTES 35 SECONDS WEST, A DISTANCE OF 758.04 FEET);
7. THENCE SOUTH 29 DEGREES 59 MINUTES 24 SECONDS WEST A DISTANCE OF 1,299.71 FEET TO THE EASTERLY RIGHT OF WAY LINE OF POTOMAC STREET; THENCE NORTH 00 DEGREES 55 MINUTES 51 SECONDS WEST ALONG SAID EASTERLY RIGHT OF WAY LINE, A DISTANCE OF 2,288.89 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF 120TH AVENUE;
THENCE NORTH 89 DEGREES 04 MINUTES 20 SECONDS EAST ALONG SAID SOUTHERLY RIGHT OF WAY LINE A DISTANCE OF 344.89 FEET TO THE TRUE POINT OF BEGINNING, COUNTY OF ADAMS, STATE OF COLORADO.



VICINITY MAP
SCALE: 1" = 200'

PROJECT TEAM

<p style="text-align: center;">OWNER / DEVELOPER</p> <p style="text-align: center;">PEDCOR INVESTMENTS, LLC 770 3RD AVE SW CARMEL IN 46032 317.587.0320 voice CONTACT: PATRICK STOFFREGEN</p>	<p style="text-align: center;">CIVIL ENGINEER</p> <p style="text-align: center;">REDLAND 1500 W. CANAL CT. LITTLETON, CO 80120 720.283.6783 voice CONTACT: TRAVIS FRAZIER, P.E.</p>
<p style="text-align: center;">LANDSCAPE ARCHITECT/PLANNER</p> <p style="text-align: center;">WESTSIDE INVESTMENT PARTNERS, INC. 4100 E MISSISSIPPI AVE SUITE 500 DENVER, CO 80246 303.984.9800 voice CONTACT: MEGAN WALDSCHMIDT</p>	<p style="text-align: center;">TRAFFIC ENGINEER</p> <p style="text-align: center;">FOX TUTTLE 1624 MARKET ST, SUITE 202 DENVER, CO 80202 303.652.3571 voice CONTACT: CASSIE SLADE, PE</p>
<p style="text-align: center;">SURVEYOR</p> <p style="text-align: center;">REDLAND 1500 W. CANAL CT. LITTLETON, CO 80120 720.283.6783 voice CONTACT: SUSAN WADE, PLA</p>	<p style="text-align: center;">AZTEC CONSULTANTS 300 E. MINERAL AVE, SUITE 1 LITTLETON, CO 80122 303.713.1898 voice CONTACT: JAMES LYNCH</p>

SITE DATA CHARTS

LAND USE SUMMARY CHART		
LAND USE	AREA (SF)	AC
GROSS AREA	4,511,446	SF
ROW	103.57	AC
R-2 SINGLE FAMILY DETACHED	423,329	SF
R-3 MULTI-FAMILY	9.72	AC
MU-CC / RESIDENTIAL, COMMERCIAL, OFFICE	772,825	SF
C-2 COMMERCIAL	17.74	AC
TRACT AREA	593,522	SF
TOTAL	13.63	AC
TOTAL	1,311,172.21	SF
TOTAL	30.10	AC
TOTAL	241,524	SF
TOTAL	5.54	AC
TOTAL	1,169,073	SF
TOTAL	26.84	AC
TOTAL	103.57	

AREA SUMMARY					
DESCRIPTION	AREA (SF)	AREA (AC)	OWNERSHIP	MAINTENANCE	USE
PA-1	140,188	3.22	OWNER	OWNER	R-3 MF
PA-2	107,127	2.46	OWNER	OWNER	C2
PA-3	134,397	3.09	OWNER	OWNER	C2
PA-4	453,333	10.41	OWNER	OWNER	R-3 MF
PA-5	286,314	6.57	OWNER	OWNER	MU-CC
PA-6	384,897	8.84	OWNER	OWNER	MU-CC
PA-7	639,961	14.69	OWNER	OWNER	MU-CC
PA-8	772,825	17.74	OWNER	OWNER	R-2
TRACT A	217,890	5.00	CITY OF BRIGHTON	CITY OF BRIGHTON	NEIGHBORHOOD PARK
TRACT B	491,334	11.28	CITY OF BRIGHTON	CITY OF BRIGHTON	PRESERVE OS
TRACT C	25,240	0.58	DISTRICT	DISTRICT	LANDSCAPE BUFFER
TRACT D	6,352	0.15	DISTRICT	DISTRICT	LANDSCAPE BUFFER
TRACT E	99,930	2.29	CITY OF BRIGHTON	CITY OF BRIGHTON	LANDSCAPE BUFFER
TRACT F	37,729	0.87	OWNER	DISTRICT	DRAINAGE
TRACT G	43,692	1.00	OWNER	DISTRICT	DRAINAGE
TRACT H	68,526	1.57	OWNER	DISTRICT	DRAINAGE
TRACT I	61,817	1.42	OWNER	DISTRICT	DRAINAGE
TRACT J	116,563	2.68	CITY OF BRIGHTON	CITY OF BRIGHTON	DRAINAGE
ROW - 120th	73,512	1.69	CITY OF BRIGHTON	DISTRICT	TREE LAWN ONLY
ROW - Internal	349,818	8.03	CITY OF BRIGHTON	DISTRICT	TREE LAWN ONLY
TOTAL	4,511,446	103.57			

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4	EXISTING CONDITIONS
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7	SITE PLAN ENLARGEMENT
8	SITE PLAN ENLARGEMENT
9	SITE PLAN ENLARGEMENT
10	SITE PLAN ENLARGEMENT
11	SITE PLAN ENLARGEMENT
12	STREET AND BLOCK PLAN
13	TRAILS AND WALKS PLAN
14	PHASING PLAN
15	GRADING AND DRAINAGE PLAN
16	UTILITY PLAN
17	OPEN SPACE PLAN
18	LANDSCAPE PLAN

CITY COUNCIL ACCEPTANCE

ACCEPTED FOR THE CITY COUNCIL OF THE CITY OF BRIGHTON,
COLORADO ON THIS _____ DAY OF _____, 20__.

MAYOR

CITY CLERK

PLANNING COMMISSION APPROVAL

APPROVED BY THE CITY OF BRIGHTON PLANNING COMMISSION, ON
THIS _____ DAY OF _____, 20__.

CHAIR

BENCHMARK

ADAMS COUNTY BENCHMARK NUMBER 0175 (AKA "REASONER") BEING
A 3 1/4" ALUMINUM CAP STAMPED "STATE HWY I-76 GPS JFSA 11 MILE
POST 17.8" LOCATED NORTHWEST OF THE INTERSECTION OF CAMERON
STREET AND O'BRIEN WAY, 47' NORTHWEST OF THE CENTER LINE OF
CAMERON STREET, ON THE PROJECTED CENTER LINE OF O'BRIEN WAY,
AND 39.7' SOUTHEAST OF THE BURLINGTON NORTHERN RAILROAD
TRACKS. **NAVD88 ELEV=5094.38'**

WHERE GREAT PLACES BEGIN

720.283.6783 Office
1500 West Canal Court
Littleton, Colorado 80120
REDLAND.COM

DRAWN	AEV	CHECKED	SAW	SMM	SMM
APPROVED	PROJECT NO.	AS SHOWN	VERT. SCALE		

DATE	NO.	TO CITY OF BRIGHTON	NOTES	SIGNATURE
2024-07-15	2	TO CITY OF BRIGHTON		
2024-08-17	3	TO CITY OF BRIGHTON		
2025-01-17	4	TO CITY OF BRIGHTON		
2025-03-08	5	TO CITY OF BRIGHTON		
2025-03-23	6	TO CITY OF BRIGHTON		
2025-07-11	7	TO CITY OF BRIGHTON		
2025-07-22	8	TO CITY OF BRIGHTON		
2025-08-03	9	TO CITY OF BRIGHTON		

SUBDIVISION PLAN
OF BRIGHTON RIDGE

COVER SHEET

SHEET

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SUBDIVISION PLAN OF BRIGHTON RIDGE

PARCELS LOCATED IN THE NORTHEAST QUARTER OF SECTION 1,
TOWNSHIP 2 SOUTH, RANGE 67 WEST AND IN THE NORTHWEST QUARTER OF SECTION 6,
TOWNSHIP 2 SOUTH, RANGE 66 WEST, ALL OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF BRIGHTON, COUNTY OF ADAMS, STATE OF COLORADO

BRIGHTON RIDGE SUBDIVISION IMPROVEMENTS, DEVELOPER OBLIGATIONS AND PHASING

INTENT

THIS MAJOR SUBDIVISION PLAN SHALL BE BINDING UPON, AND INURE TO THE BENEFIT OF, THE OWNER/DEVELOPER NAMED ON THE COVER SHEET AND ITS HEIRS, SUCCESSORS, AND ASSIGNS. THE CITY AGREES THAT THE REQUIREMENTS SET FORTH HEREIN ARE REASONABLE, NECESSARY, AND APPROPRIATE CONDITIONS AND OBLIGATIONS OF THE OWNER/DEVELOPER. THIS MAJOR SUBDIVISION PLAN SHALL BE DEEMED TO COMPLEMENT AND BE IN ADDITION TO THE CONDITIONS AND REQUIREMENTS OF THE CITY'S LAND USE AND DEVELOPMENT CODE (THE "CODE").

GENERALLY APPLICABLE DEVELOPMENT OBLIGATIONS

OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF ALL PUBLIC IMPROVEMENTS SHOWN ON THIS MAJOR SUBDIVISION PLAN OR OTHERWISE REQUIRED BY THE CODE TO ESTABLISH BUILDABLE LOTS ON THE REAL PROPERTY IN ACCORDANCE WITH THIS MAJOR SUBDIVISION PLAN AND THE FINAL PLATS. THE TERM "SCHEDULE OF IMPROVEMENTS" AND/OR "PHASING PLAN(S)" SHALL MEAN A DETAILED LISTING OF ALL OF THE PUBLIC IMPROVEMENTS, THE DESIGN, CONSTRUCTION, INSTALLATION, AND PHASING OF WHICH IS THE SOLE RESPONSIBILITY OF THE DEVELOPER. THE "SCHEDULE OF IMPROVEMENTS" MAY BE DIVIDED INTO PHASES OF THE APPROVED FINAL PLAT(S) FOR THE DEVELOPMENT, AS SHOWN ON SHEET 14. THE IMPROVEMENTS LISTED BELOW (WHICH LIST IS NOT EXHAUSTIVE), THE TYPE, SIZE, GENERAL LOCATION, AND ESTIMATED COST OF EACH IMPROVEMENT AND THE DEVELOPMENT PHASE IN WHICH THE PUBLIC IMPROVEMENT IS TO BE BUILT. THE COSTS FRO THESE IMPROVEMENTS SHALL BE SUBMITTED TO THE CITY AT THE TIME OF FINAL PLAT:

- WATER LINES
- SANITARY SEWER LINES
- STORM SEWER LINES
- DRAINAGE RETENTION/DETENTION PONDS
- STREETS/ALLEYS/RIGHTS-OF-WAY
- CURBS/GUTTERS
- SIDEWALKS
- BRIDGES AND OTHER CROSSINGS
- TRAFFIC SIGNAL LIGHTS
- STREET LIGHTS
- SIGNS
- FIRE HYDRANTS
- GUARD RAILS
- NEIGHBORHOOD PARKS/COMMUNITY PARKS
- OPEN SPACE
- TRAILS AND PATHS
- STREET TREES/OPEN SPACE AND/OR COMMON AREA LANDSCAPING
- IRRIGATION SYSTEMS
- WELLS
- FENCING/RETAINING WALLS
- PARKING LOTS
- PERMANENT EASEMENTS
- LAND DONATED AND/OR CONVEYED TO THE CITY
- VALUE OF LAND BENEATH ALL INFRASTRUCTURE IMPROVEMENTS
- VALUE OF WATER DONATED AND/OR CONVEYED TO THE CITY

OWNER/DEVELOPER SHALL FURNISH, AT ITS SOLE EXPENSE AND IN CONFORMANCE WITH THE CODE, ALL NECESSARY ENGINEERING SERVICES AND CIVIL ENGINEERING DOCUMENTS RELATING TO THE DESIGN AND CONSTRUCTION OF THE PUBLIC IMPROVEMENTS (THE "CIVIL ENGINEERING DOCUMENTS"). OWNER/DEVELOPER SHALL FURNISH AND INSTALL THE PUBLIC IMPROVEMENTS IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CODE, THE CIVIL ENGINEERING DOCUMENTS APPROVED BY THE CITY, AND OF ANY GOVERNMENTAL OR QUASI-GOVERNMENTAL ENTITY TO WHOM SUCH PUBLIC IMPROVEMENTS MAY BE DEDICATED AS SET FORTH HEREIN OR ON THE FINAL PLAT FOR THE PARTICULAR PHASE. BUILDING PERMITS FOR THE VERTICAL CONSTRUCTION OF ANY TYPE OF STRUCTURE REGULATED BY THE CITY WILL BE ISSUED BY THE CITY UPON THE FOLLOWING CONDITIONS:

- ALL APPLICABLE CITY REVIEWS ARE COMPLETED, AND PLANS ARE APPROVED
- ALL APPLICABLE PERMITTING FEES ARE PAID

BUILDING PERMITS FOR THE VERTICAL CONSTRUCTION OF ANY TYPE OF STRUCTURE REGULATED BY THE CITY WILL ONLY BECOME ACTIONABLE UPON THE FOLLOWING CONDITIONS:

- PUBLIC IMPROVEMENTS FOR THE REAL PROPERTY (OR FOR THE APPLICABLE PHASE OF THE REAL PROPERTY IF PHASING IS ALLOWED HEREIN) AND HAVE RECEIVED INITIAL ACCEPTANCE IN ACCORDANCE HERewith

OWNER/DEVELOPER AGREES TO FOLLOW THE CITY'S CODE AND PUBLIC WORKS STANDARDS, AS AMENDED, IN REGARDS TO ANY CONSTRUCTION STANDARDS, PLAN SUBMISSION AND APPROVAL PROCESSES, INITIAL ACCEPTANCE AND WARRANTY PROCESSES, MAINTENANCE IMPROVEMENTS, FINAL ACCEPTANCE, TESTING AND INSPECTION, IMPROVEMENT GUARANTEES, INDEMNIFICATION AND RELEASE OF LIABILITY, AND INSURANCE OSHA STANDARDS THAT ARE IN EFFECT AT THE TIME OF FINAL PLAT APPROVAL.

SITE SPECIFIC DEVELOPMENT OBLIGATIONS

IN ADDITION TO THE GENERALLY APPLICABLE DEVELOPMENT OBLIGATIONS SET FORTH ABOVE, THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR CONSTRUCTION OF THE FOLLOWING IMPROVEMENTS, WHICH ADDITIONAL IMPROVEMENTS SHALL CONSTITUTE "PUBLIC IMPROVEMENTS" HEREUNDER:

- THE TRACT A PARK PLAN AS SHOWN ON SHEET 18 HEREOF
- THE IMPROVEMENT OF 120TH AVENUE AS SHOWN ON SHEET 6
- THE IMPROVEMENT OF S PLATTE VALLEY AVE SHOWN ON SHEET 6
- THE CONSTRUCTION OF FOLEY ROAD AND GATEWAY STREET AS SHOWN ON SHEET 6
- THE CONSTRUCTION OF FUTURE STREET A AND FUTURE STREET B AS SHOWN ON SHEET 6

IMPROVEMENT GUARANTEE

OWNER/DEVELOPER SHALL SUBMIT TO THE CITY A GUARANTEE FOR ALL PUBLIC IMPROVEMENTS RELATED TO THE REAL PROPERTY (OR TO THE APPLICABLE PHASE OF THE REAL PROPERTY IF PHASING IS ALLOWED HEREIN). SAID GUARANTEE MAY BE IN CASH, BOND, OR A LETTER OF CREDIT IN A FORMAT PROVIDED BY THE CITY. INFRASTRUCTURE PERMITS SHALL BE ISSUED FOR ONLY THAT PHASE FOR WHICH SAID GUARANTEES HAVE BEEN FURNISHED. THE TOTAL AMOUNT OF THE GUARANTEE FOR EACH PHASE SHALL BE CALCULATED AS A PERCENTAGE OF THE TOTAL ESTIMATED COST, INCLUDING LABOR AND MATERIALS, OF ALL PUBLIC IMPROVEMENTS AS SHOWN ON SHEET 14 TO BE CONSTRUCTED IN SAID PHASE OF THE DEVELOPMENT. THE TOTAL AMOUNTS ARE AS FOLLOWS:

- PRIOR TO ISSUANCE OF INFRASTRUCTURE PERMITS FOR SUCH PHASE - 115%
- UPON INITIAL ACCEPTANCE PRIOR TO FINAL ACCEPTANCE - 15%
- AFTER FINAL ACCEPTANCE - 0%

IN ADDITION TO ANY OTHER REMEDIES UNDER THE CODE, THE CITY MAY, AT ANY TIME PRIOR TO FINAL ACCEPTANCE, DRAW ON ANY PUBLIC IMPROVEMENT GUARANTEE ISSUED IF OWNER/DEVELOPER FAILS TO EXTEND OR REPLACE ANY SUCH PUBLIC IMPROVEMENT GUARANTEE AT LEAST THIRTY (30) DAYS PRIOR TO EXPIRATION OF SUCH PUBLIC IMPROVEMENT GUARANTEE, OR FAILS TO OTHERWISE COMPLY WITH THE PUBLIC IMPROVEMENT GUARANTEE. IF THE CITY DRAWS ON THE GUARANTEE TO CORRECT DEFICIENCIES AND COMPLETE ANY PUBLIC IMPROVEMENTS, ANY PORTION OF SAID GUARANTEE NOT UTILIZED IN CORRECTING THE DEFICIENCIES AND/OR COMPLETING THE PUBLIC IMPROVEMENTS SHALL BE RETURNED TO OWNER/DEVELOPER WITHIN THIRTY (30) DAYS AFTER SAID FINAL ACCEPTANCE.

MODEL HOMES (EXCLUDES PA-1 AND PA-4)

HOMES TO BE USED AS MODELS BY BUILDERS FOR THE PURPOSE OF SALES VISITS AND SHOWCASING THE RESIDENTIAL HOUSING PRODUCT(S) TO THE PUBLIC SHALL BE ALLOWED PRIOR TO INITIAL ACCEPTANCE IF, AND ONLY IF, THERE ARE TWO POINTS OF ACCESS ACROSS SURFACES DEEMED ACCEPTABLE TO THE CITY'S CHIEF BUILDING OFFICIAL, CITY'S PUBLIC WORKS DIRECTOR, AND THE BRIGHTON FIRE RESCUE DISTRICT. ADDITIONALLY, ADEQUATE PARKING AND TURNAROUND ACCESS, IF NEEDED, SHALL BE PROVIDED ON A SURFACE AND TO A DESIGN AS DETERMINED ACCEPTABLE BY THE CITY'S CHIEF BUILDING OFFICIAL, CITY'S PUBLIC WORKS DIRECTOR, AND THE BRIGHTON FIRE RESCUE DISTRICT. LASTLY, THE CITY'S CHIEF BUILDING OFFICIAL, PUBLIC WORKS DIRECTOR, AND THE BRIGHTON FIRE RESCUE DISTRICT MAY REQUIRE OTHER ITEMS PRIOR TO THE CONSTRUCTION OR USE OF MODEL HOMES AT THEIR DISCRETION IN ORDER TO ENSURE HEALTH, SAFETY, AND WELFARE OF THE PUBLIC. MODEL HOMES AND AREAS SHALL MEET THE REQUIREMENTS OF THE ADOPTED SAFETY CODES FOR THE CITY.

PHASING

REFER TO SHEET 14 - PHASING PLAN FOR DETAILED PHASING INFORMATION.

SITE SPECIFIC FEE AND CONTRIBUTIONS

NOTWITHSTANDING ANYTHING TO THE CONTRARY HEREIN, THE FOLLOWING FEES AND CONTRIBUTIONS SHALL BE PAYABLE IN THE AMOUNTS AND AT THE TIME LISTED BELOW:

1. OPEN SPACE CALCULATIONS AND FEE IN LIEU

THE FEE-IN-LIEU FOR OPEN SPACE OR PARKS MUST BE PAID PRIOR TO APPROVAL OF THE FINAL PLAT. IF RESIDENTIAL DENSITIES INCREASE FROM THOSE APPROVED IN THE FINAL PLAT, THIS REQUIRING THE DEDICATION OF ADDITIONAL LAND FOR THE NEIGHBORHOOD/COMMUNITY PARK AND NECESSARY OPEN SPACE, SAID ADDITIONAL DEDICATION OF LAND MAY BE SATISFIED BY THE DEDICATION OF ADDITIONAL ACCEPTABLE LAND OR PAYMENT OF A FEE-IN-LIEU IN LIEU OF DEDICATION. THE AMOUNT OF SUCH FEE-IN-LIEU SHALL BE DETERMINED IN ACCORDANCE WITH THE CITY OF BRIGHTON PARKS STANDARDS AND PROCEDURES IN EFFECT AT THE TIME THE PAYMENT IS MADE. THE DEDICATION OF ADDITIONAL LAND AND/OR PAYMENT OF CASH IN LIEU OF DEDICATION, IF REQUIRED, SHALL BE COMPLETED PRIOR TO THE APPROVAL OF ANY AMENDMENTS TO THE FINAL PLAT.

PHASE 1 AND PHASE 2 NEIGHBORHOOD PARK REQUIREMENT WILL BE SATISFIED WITH THE PHASE 2 NEIGHBORHOOD PARK DEDICATION AND IMPROVEMENTS. IN THE EVENT THAT THE DEDICATION IS NOT MET, ADDITIONAL LAND DEDICATION OR FEE-IN-LIEU WILL BE REQUIRED. NO FEE IN LIEU IS REQUIRED FOR NEIGHBORHOOD PARKS IN PHASE 1 AS THIS WILL BE COLLECTED WITH PHASE 2.

2. WATER DEDICATION REQUIREMENTS

WATER DEDICATION MUST BE COMPLETED AT THE APPROVAL OF THE FINAL PLAT AND/OR SITE PLAN FOR EACH SUCH PHASE AS DETERMINED BY THE CITY. WATER DEDICATION MUST BE COMPLETED IN ACCORDANCE WITH THE CITY STANDARDS IN EFFECT AT THE TIME OF REVIEW.

3. TRAFFIC SIGNAL REQUIREMENTS

THE DEVELOPER SHALL CONTRIBUTE TO THE DESIGN AND CONSTRUCTION OF THE TRAFFIC SIGNAL LOCATED AT 120TH AND S. PLATTE VALLEY AVENUE. THE DEVELOPER WILL BE RESPONSIBLE FOR CONTRIBUTING UP TO 50% OF THE ACTUAL COST OF THE SIGNAL AT TIME THAT THE SIGNAL IS WARRANTED. THE CONSTRUCTION OF THE SIGNAL WILL BE THE RESPONSIBILITY OF THE DEVELOPMENT WHICH WARRANTS THE SIGNAL.

4. SECOND CREEK IMPROVEMENTS

THE DEVELOPER SHALL CONTRIBUTE, IN PHASE 1, A DEPOSIT TO FUND THE INITIAL DESIGN AND COST ESTIMATE FOR THE SECOND CREEK IMPROVEMENTS LOCATED ON THE PROPERTY. THIS ESTIMATE SHALL BECOME THE BASIS FOR SUBSEQUENT DEVELOPER CONTRIBUTIONS WITH THE FINAL PLAT FOR PHASE 2. WITH PHASE 2 THE DEVELOPER SHALL CONTRIBUTE FUNDS TO CONSTRUCT THE SECOND CREEK IMPROVEMENTS. STORMWATER IMPACT FEES CAN BE USED TO OFFSET THESE CONTRIBUTIONS. NO STORMWATER IMPACT FEES WILL BE COLLECTED FROM THE DEVELOPER UNLESS THEY ARE IN EXCESS OF THE COST TO DESIGN/CONSTRUCT THE SECOND CREEK IMPROVEMENTS. THE SECOND CREEK IMPROVEMENTS SHALL BE CONSTRUCTED WITH PHASE 3.

5. COMMUNITY AMENITIES

OWNER/DEVELOPER SHALL DESIGN AT THE TIME OF FINAL PLAT ALL COMMUNITY AMENITIES FOR EACH PHASE, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, PARKS AND OPEN SPACE, FENCING, SUBDIVISION SIGNAGE, AND COMMUNITY MAILBOXES. OWNER/DEVELOPER AGREES TO CONSTRUCT AND/OR INSTALL THESE ITEMS WITHIN EACH PHASE OF DEVELOPMENT.

6. FUTURE STREET CONNECTION SIGNS

THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF SIGNS CALLING OUT FUTURE STREET CONNECTIONS AND FOR THEIR CONTINUED MAINTENANCE UNTIL THE PHASE ON WHICH THEY ARE PLACED IS CONSTRUCTED. SPECIFICALLY, PRIOR TO INITIAL ACCEPTANCE OF PUBLIC IMPROVEMENTS FOR PHASE 1, THE DEVELOPER AND/OR THE DISTRICT, AT THE APPLICABLE PARTY'S SOLE COST AND EXPENSE, SHALL ERECT A SIGN AT EACH POINT ALONG FOLEY STREET THAT HAS A CROSSING INTO PHASE 2 AND NOTIFYING RESIDENTS THAT THE STREET WILL BE EXTENDED IN THE FUTURE IN CONNECTION WITH THE DEVELOPMENT.

7. SCHOOL LAND DEDICATION

IN ACCORDANCE WITH THE CITY'S LAND USE AND DEVELOPMENT CODE, SECTION 3.05(F), THE OWNER/DEVELOPER AGREES TO PROVIDE A FEE-IN-LIEU OF LAND DEDICATION AS DETERMINED BY BRIGHTON SCHOOL DISTRICT 27J AND SHALL PROVIDE PAYMENT TO THE SCHOOL DISTRICT PRIOR TO RECORDING OF THE FINAL PLAT OR THE FINAL PLAT OF THE APPLICABLE PHASE.

8. CAPITAL FACILITY FEE

THE DEVELOPER IS AWARE OF THE SCHOOL DISTRICT CAPITAL FACILITY FEE FOUNDATION, WHOSE PURPOSE IS TO ADMINISTER THE COLLECTION FROM VARIOUS DEVELOPMENT ENTITIES OF A "CAPITAL FACILITY FEE" FOR DISBURSAL TO SCHOOL DISTRICT 27J TO FUND A PORTION OF THE COSTS OF PROVIDING ADDITIONAL CAPITAL FACILITIES TO SERVICE NEW GROWTH, AND HAS VOLUNTARILY AGREED TO BE A PARTICIPATING DEVELOPMENT ENTITY IN THAT PROCESS AND, ACCORDINGLY, ENTER INTO A PARTICIPANT AGREEMENT WITH THE SCHOOL DISTRICT. FEES PAYABLE TO THE FOUNDATION SHALL BE PAID DIRECTLY TO THE SCHOOL DISTRICT AS PART OF EACH RESIDENTIAL BUILDING PERMIT. AFTER ESTABLISHMENT AND ASSESSMENT OF ANY SCHOOL FEES AS AFORESAID, AS A CONDITION OF APPROVAL OF ANY RESIDENTIAL BUILDING PERMIT, THE DEVELOPER SHALL PROVIDE EVIDENCE TO THE CITY THAT SUCH FEES HAVE BEEN PAID TO THE FOUNDATION IN ACCORDANCE WITH THIS SECTION, PRIOR TO THE RELEASE OF A RESIDENTIAL BUILDING PERMIT.

BUS BARN

ACCESS AND UTILITY SERVICE TO THE 27-J BUS BARN PROPERTY MUST BE MAINTAINED AT ALL TIMES DURING DEVELOPMENT.

RTD

DEVELOPER AGREES TO WORK WITH RTD AT THE TIME OF PLATTING ON ANY BRT, BUS STOP, OR REGIONAL TRANSPORTATION FACILITIES NEEDED ON SITE.

FLOODPLAIN

ALL BUILDINGS PROPOSED IN A REGULATORY FLOODPLAIN MUST MEET ALL REQUIREMENTS OF THE CITY FLOODPLAIN ORDINANCES AND FEDERAL NFIP REGULATIONS (I.E. RESIDENTIAL PERMITS WILL NOT BE ISSUED IN THIS REGULATORY FLOODPLAIN AREA).

RESIDENTIAL LAND USES SHALL NOT BE ALLOWED EAST OF POTOMAC STREET IN THE MU-CC ZONE DISTRICT, WHICH IS DESIGNATED AS PA-6 AND PA-7. DUE TO THE FACT THAT THIS LAND USE TYPE IS NOT CONSIDERED "FLOODPLAIN COMPATIBLE DEVELOPMENT" AS SET FORTH IN THE LAND USE & DEVELOPMENT CODE (THE "LUDC"), SECTION 10.2. B. 1, NOR IS IT AN ALLOWED LAND USE TYPE AS SET FORTH IN TABLE 4-2 OF THE CODE.

POTOMAC STREET

ANY REFERENCES TO POTOMAC STREET WITHIN THE BOUNDS OF THE DEVELOPMENT HAS BEEN REVISED TO SOUTH PLATTE VALLEY AVENUE. IF THERE ARE ANY REMAINING REFERENCES TO POTOMAC STREET HEREIN, THESE MENTIONS WITH BE CHANGED TO SOUTH PLATTE VALLEY AVENUE AT THE TIME OF THE FINAL PLAT/SITE PLAN.



DATE	NO.	NOTES
2021-07-15	1	TO CITY OF BRIGHTON
2021-08-17	2	TO CITY OF BRIGHTON
2022-01-17	3	TO CITY OF BRIGHTON
2022-03-08	4	TO CITY OF BRIGHTON
2022-03-23	5	TO CITY OF BRIGHTON
2022-05-23	6	TO CITY OF BRIGHTON
2022-07-11	7	TO CITY OF BRIGHTON
2022-07-22	8	TO CITY OF BRIGHTON
2022-08-03	9	SIGNATURE SET

DRAWN	AEV
CHECKED	SAW
APPROVED	SOO_MF
PROJECT NO.	20007
HORIZ. SCALE	AS SHOWN
VERT. SCALE	NONE

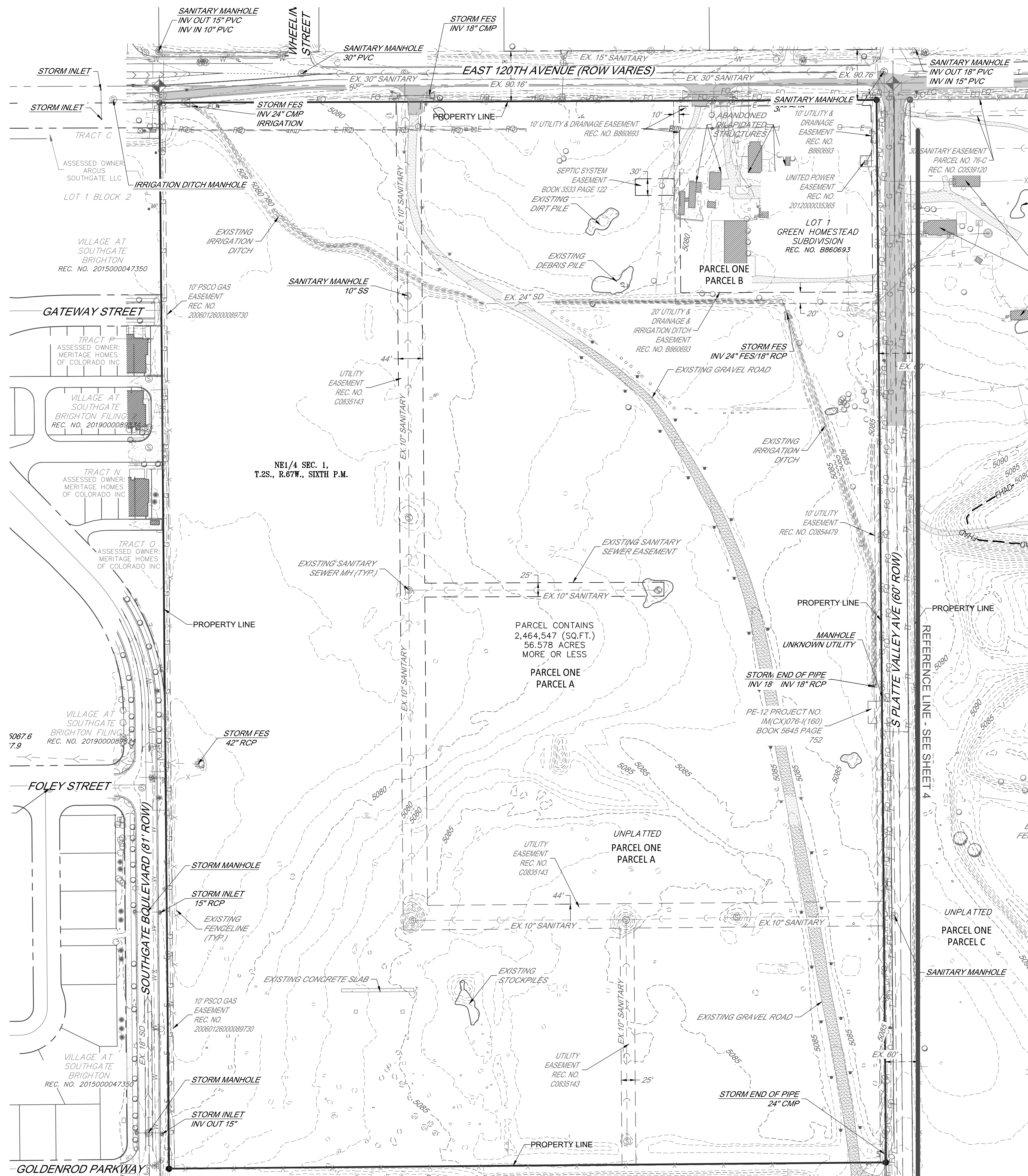
SUBDIVISION PLAN
OF BRIGHTON RIDGE

DEVELOPER CONTRIBUTIONS

BENCHMARK
ADAMS COUNTY BENCHMARK NUMBER 0175 (AKA "REASONER") BEING A 3 1/4" ALUMINUM CAP STAMPED "STATE HWY I-76 GPS JFSA 11 MILE POST 17.8" LOCATED NORTHWEST OF THE INTERSECTION OF CAMERON STREET AND OBRIEN WAY, 47' NORTHWEST OF THE CENTER LINE OF CAMERON STREET, ON THE PROJECTED CENTER LINE OF OBRIEN WAY, AND 39.7' SOUTHEAST OF THE BURLINGTON NORTHERN RAILROAD TRACKS. **NAVD88 ELEV=5094.38'**

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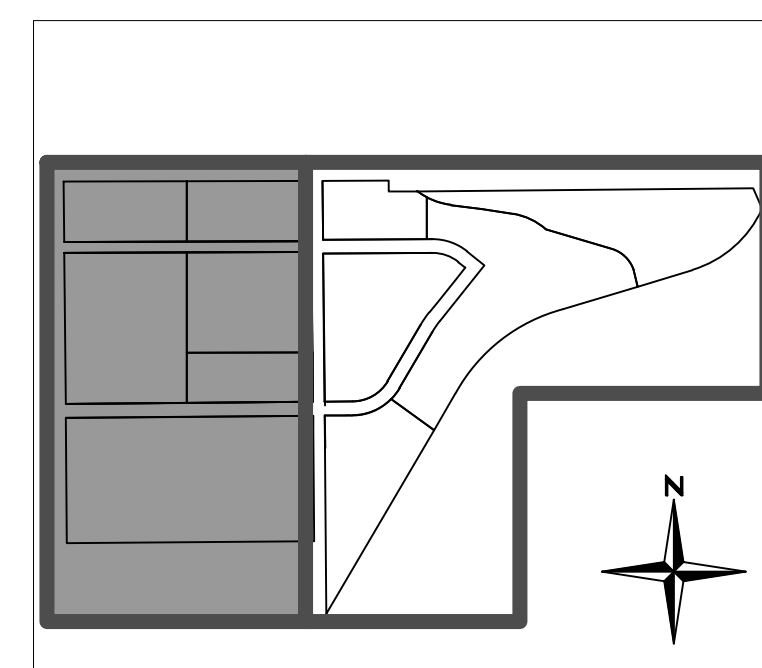
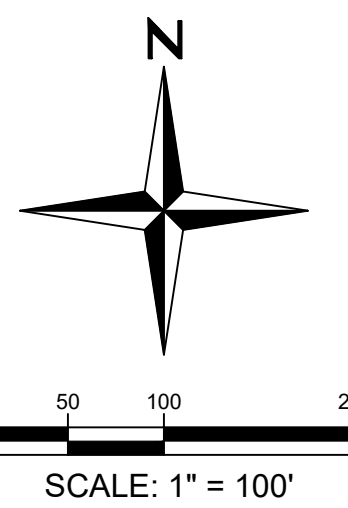
SUBDIVISION PLAN OF BRIGHTON RIDGE



1. EXISTING CONDITIONS ARE BASED UPON FIELD WORK PERFORMED BY AZTEC CONSULTANTS ON DECEMBER 16, 2020
2. SUBJECT PROPERTY ADDRESSES PER THE ADAMS COUNTY ASSESSOR'S OFFICE ARE AS FOLLOWS:
 - 2.1. PARCEL ONE PARCEL B - NO ADDRESS.
 - 2.2. PARCEL ONE PARCEL B - 13630 E 120TH AVENUE, BRIGHTON, CO
 - 2.3. PARCEL ONE PARCEL C - 11970 S PLATTE VALLEY AVE, BRIGHTON, CO
3. THE SURVEYED PARCEL ONE PARCELS A & B CONTAIN A TOTAL OF 56,578 ACRES OR 2,464,547 SQUARE FEET, MORE OR LESS. THE SURVEYED PARCEL ONE PARCEL C CONTAINS A TOTAL OF 46,993 ACRES OR 2,046,998 SQUARE FEET, MORE OR LESS.
4. THE BUILDINGS LOCATED ON THE SUBJECT PROPERTY WERE DILAPIDATED AND ABANDONED. DIMENSIONS ARE NOT SHOWN AS IT IS ANTICIPATED THAT THE BUILDINGS WILL BE TORN DOWN. HISTORIC PRESERVATION FORMS MUST BE PRODUCED FOR EACH STRUCTURE ON THE SITE PRIOR TO DEMOLITION.
5. THIS SURVEY DOES NOT CERTIFY TO SUBSURFACE FEATURES, IMPROVEMENTS, UTILITIES OR BURIED LINES OF ANY TYPE. LOCATION DEPICTED HEREON ARE DERIVED FROM FIELD SURVEY OF UTILITY FLAGGING / PAINT MARKING, PERFORMED BY AZTEC CONSULTANTS, INC., UTILITY LOCATING DEPARTMENT ON DECEMBER 4, 2020.
6. PARCEL ONE PARCELS A AND B HAVE DIRECT PHYSICAL ACCESS TO EAST 120TH AVENUE, AND PARCEL ONE PARCEL B AND PARCEL ONE PARCEL C HAVE DIRECT PHYSICAL ACCESS TO S PLATTE VALLEY AVE, DEDICATED PUBLIC STREETS.
7. THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE ABOVE PREMISES; THERE ARE NO VISIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY OR UPON ADJACENT LAND ABUTTING SAID PROPERTY EXCEPT AS SHOWN HEREON AND WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF COLORADO.
8. AERIAL MAPPING PROVIDED BY SYNERGY ON 12/2/2020.

EXISTING LEGEND

	PROPERTY LINE
	R.O.W.
	LOT LINE
	EASEMENT LINE
	SECTION LINE
	ROAD CENTERLINE
	EDGE OF PAVEMENT
	CURB AND GUTTER
	CONCRETE
	FENCE
	RETAINING WALL
	WATER LINE
	RAW WATER LINE
	NON-POTABLE WATER LINE
	IRRIGATION LINE
	SANITARY SEWER
	STORM SEWER
	ELECTRIC LINE
	GAS LINE
	TELEPHONE LINE
	FIBER OPTICS LINE
	CONTOUR MAJOR
	CONTOUR MINOR

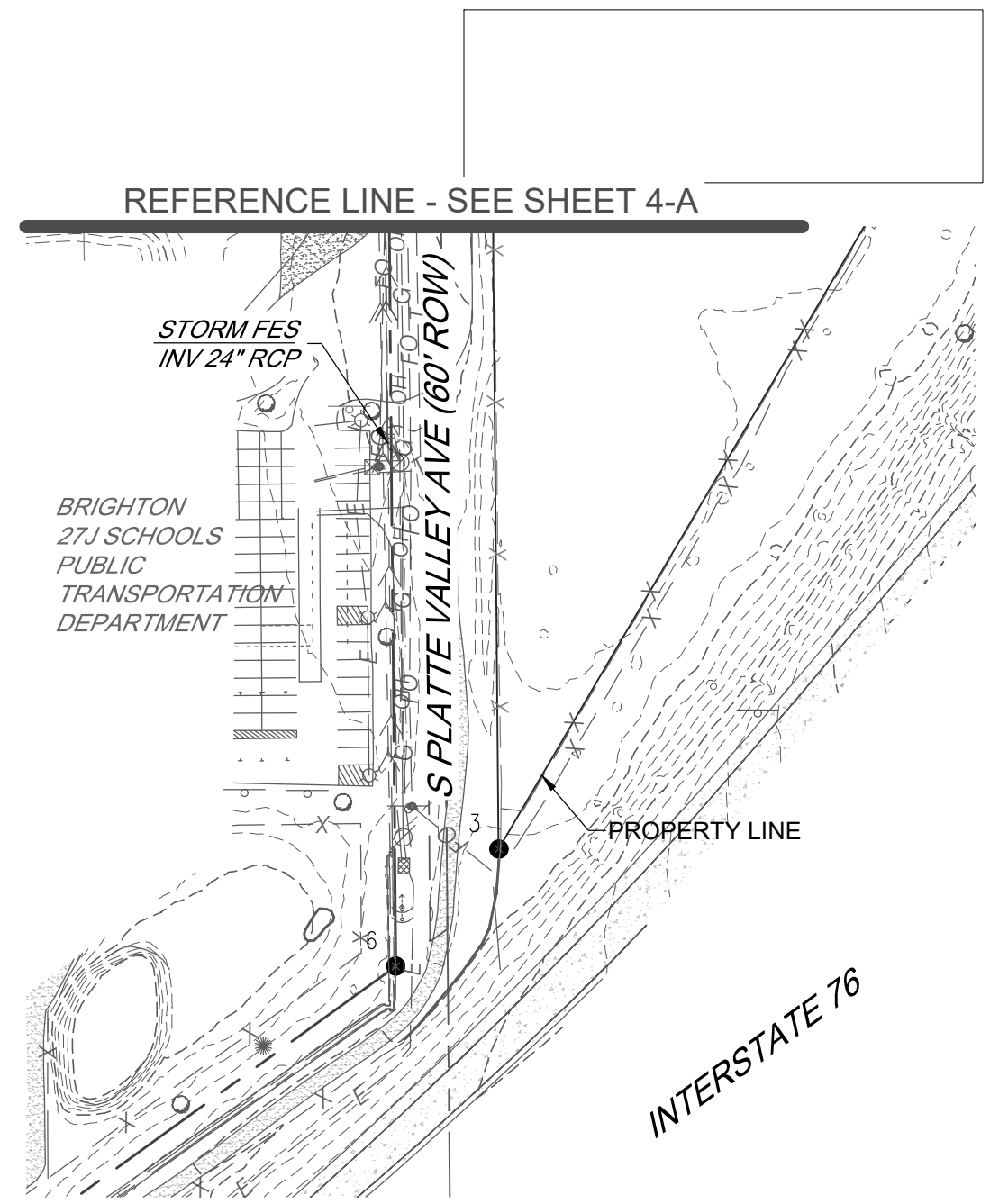


DRAWN	AEV	CHECKED	SAW	APPROVED	SMW_IT
PROJECT NO.	2007	DATE	2022-08-03	SCALE	1" = 100'
VERT. SCALE	NONE	DATE	2022-08-03	SCALE	NONE

DATE	NO.	NOTES
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2021-08-17	2	TO CITY OF BRIGHTON
2022-01-17	3	TO CITY OF BRIGHTON
2022-03-08	4	TO CITY OF BRIGHTON
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2022-05-23	6	TO CITY OF BRIGHTON
2022-07-11	7	TO CITY OF BRIGHTON
2022-07-22	8	TO CITY OF BRIGHTON
2022-08-03	9	SIGNATURE SET

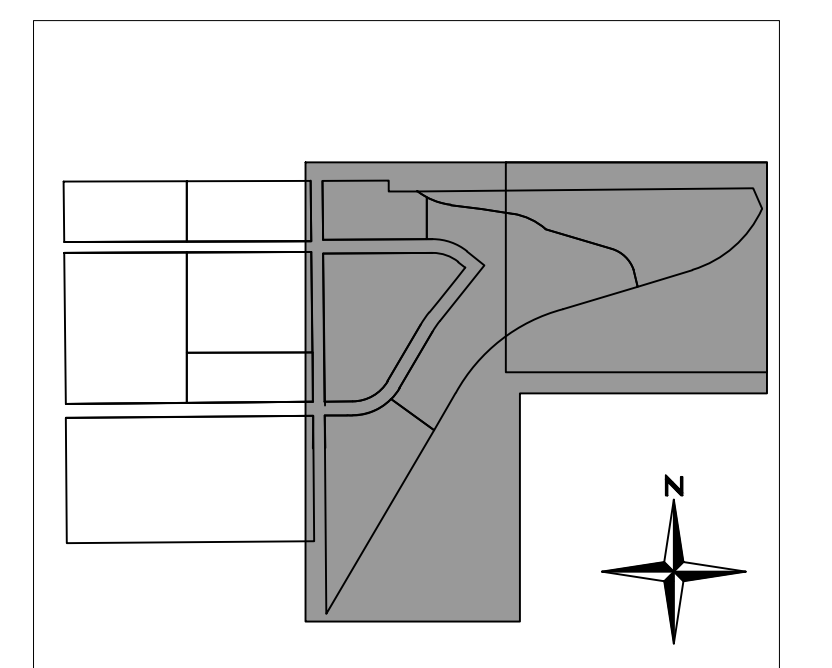
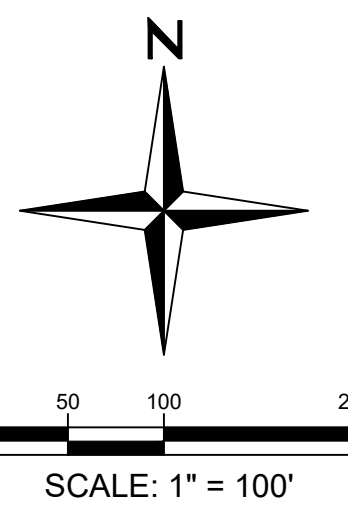
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SUBDIVISION PLAN OF BRIGHTON RIDGE



EXISTING LEGEND

	PROPERTY LINE
	R.O.W.
	LOT LINE
	EASEMENT LINE
	SECTION LINE
	ROAD CENTERLINE
	EDGE OF PAVEMENT
	CURB AND GUTTER
	CONCRETE
	FENCE
	RETAINING WALL
	WATER LINE
	RAW WATER LINE
	NON-POTABLE WATER LINE
	IRRIGATION LINE
	SANITARY SEWER
	STORM SEWER
	ELECTRIC LINE
	GAS LINE
	TELEPHONE LINE
	FIBER OPTICS LINE
	CONTOUR MAJOR
	CONTOUR MINOR



KEYMAP
SCALE: 1" = 1000'

Redland
WHERE GREAT PLACES BEGIN

700 283 4793 Office
1500 West Canal Court
Littleton, Colorado 80120
REDLAND.COM

DATE	NO.	DESCRIPTION	BY	CHECKED	DATE	NO.	DESCRIPTION	BY	CHECKED	DATE
2021-07-15	1	TO CITY OF BRIGHTON			2021-08-17	3	TO CITY OF BRIGHTON			
2022-01-17	4	TO CITY OF BRIGHTON			2022-03-08	5	TO CITY OF BRIGHTON			
2022-05-23	6	TO CITY OF BRIGHTON			2022-07-11	7	TO CITY OF BRIGHTON			
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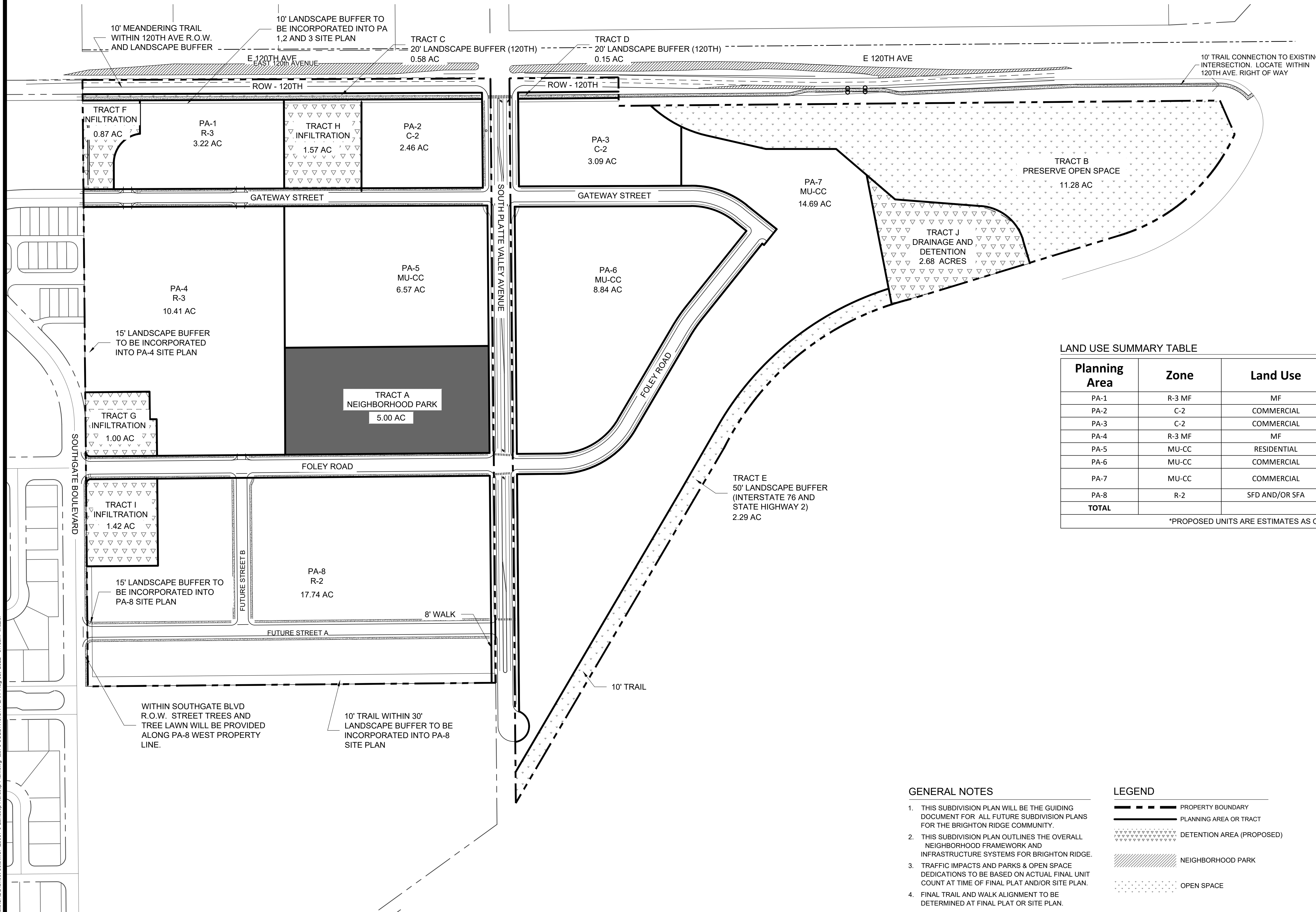
EXISTING CONDITIONS

SUBDIVISION PLAN OF BRIGHTON RIDGE

SHEET 4 of 18

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SUBDIVISION PLAN OF BRIGHTON RIDGE



LAND USE SUMMARY TABLE

Planning Area	Zone	Land Use	Area (AC)	Proposed Units
PA-1	R-3 MF	MF	3.22	72
PA-2	C-2	COMMERCIAL	2.46	
PA-3	C-2	COMMERCIAL	3.09	
PA-4	R-3 MF	MF	10.41	192
PA-5	MU-CC	RESIDENTIAL	6.57	100
PA-6	MU-CC	COMMERCIAL	8.84	
PA-7	MU-CC	COMMERCIAL	14.69	
PA-8	R-2	SFD AND/OR SFA	17.74	220
TOTAL			67.02	584

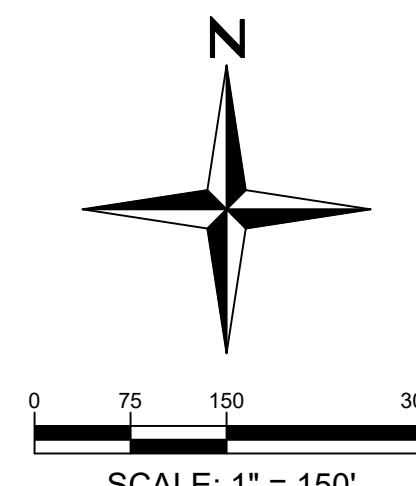
*PROPOSED UNITS ARE ESTIMATES AS OF 7/28/2022

GENERAL NOTES

- THIS SUBDIVISION PLAN WILL BE THE GUIDING DOCUMENT FOR ALL FUTURE SUBDIVISION PLANS FOR THE BRIGHTON RIDGE COMMUNITY.
- THIS SUBDIVISION PLAN OUTLINES THE OVERALL NEIGHBORHOOD FRAMEWORK AND INFRASTRUCTURE SYSTEMS FOR BRIGHTON RIDGE.
- TRAFFIC IMPACTS AND PARKS & OPEN SPACE DEDICATIONS TO BE BASED ON ACTUAL FINAL UNIT COUNT AT TIME OF FINAL PLAT AND/OR SITE PLAN.
- FINAL TRAIL AND WALK ALIGNMENT TO BE DETERMINED AT FINAL PLAT OR SITE PLAN.

LEGEND

- PROPERTY BOUNDARY
- PLANNING AREA OR TRACT
- DETENTION AREA (PROPOSED)
- NEIGHBORHOOD PARK
- OPEN SPACE



AEV	DRAWN
SMW	CHECKED
SMW, TF	APPROVED
PROJECT NO. 20007	
HORIZ. SCALE 2000'	
VERT. SCALE	

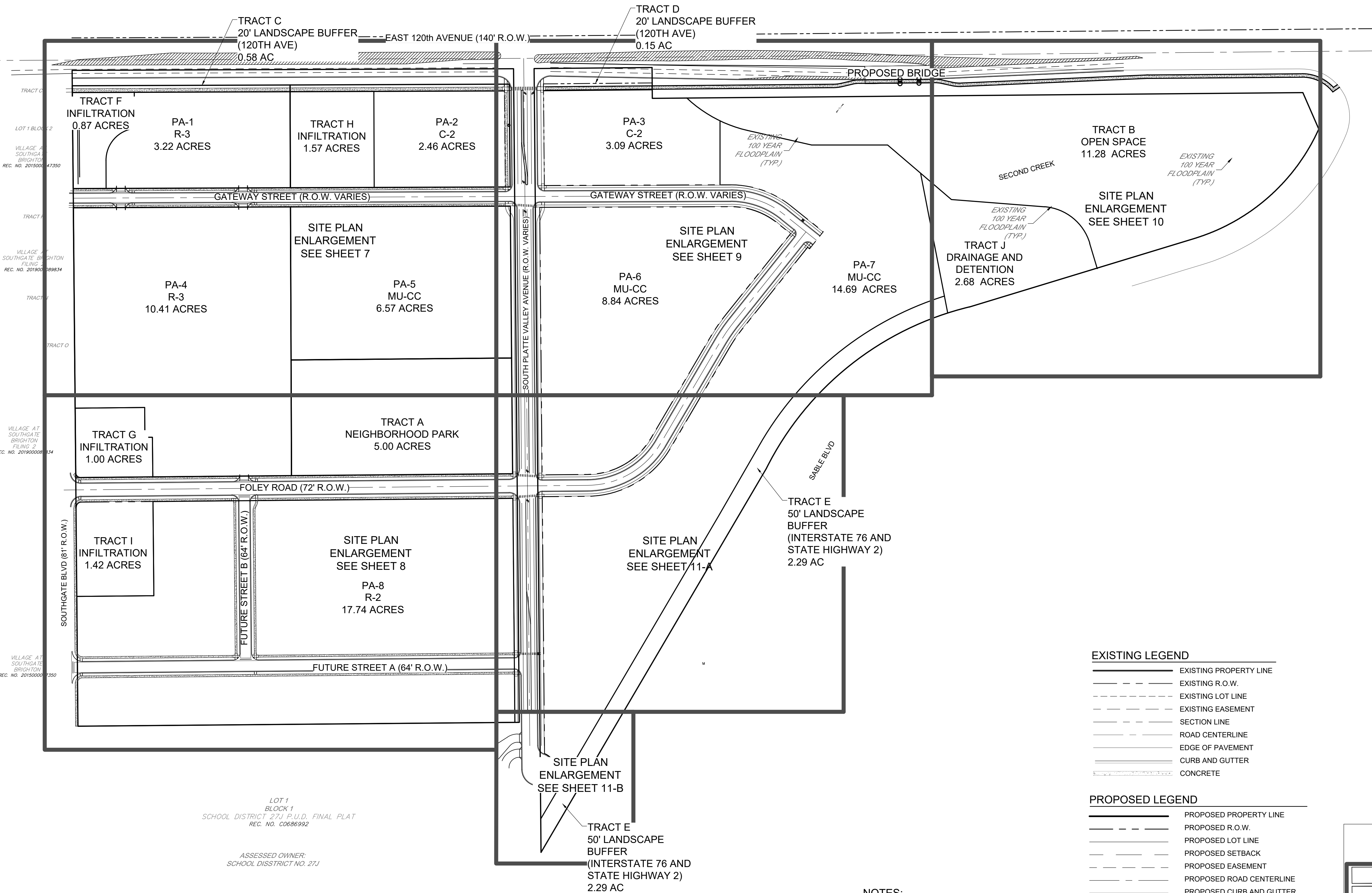
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2022-03-08	5	TO CITY OF BRIGHTON
2022-03-23	6	TO CITY OF BRIGHTON
2022-05-23	7	TO CITY OF BRIGHTON
2022-07-11	8	TO CITY OF BRIGHTON
2022-07-22	9	TO CITY OF BRIGHTON
2022-08-03	9	SIGNATURE SET

SUBDIVISION PLAN OF BRIGHTON RIDGE

SUBDIVISION PLAN

I:\2020\2007 - Southgate\CADD\Sheet Sets\MSP\2007-24-Landscape_Hatchup_Plan.dwg tab: 5 SUBDIVISION PLAN Aug 03, 2022 - 5:15am tfrizer

SUBDIVISION PLAN OF BRIGHTON RIDGE



LOT 1
BLOCK 1
SCHOOL DISTRICT 27J P.U.D. FINAL PLAT
REC. NO. C0666992

ASSESSED OWNER:
SCHOOL DISTRICT NO. 27J

UNPLATTED

EXISTING LEGEND

—	EXISTING PROPERTY LINE
- - - -	EXISTING R.O.W.
- · - · -	EXISTING LOT LINE
- · - - -	EXISTING EASEMENT
- · - · - ·	SECTION LINE
—+—+—+—	ROAD CENTERLINE
—+—+—+—+—	EDGE OF PAVEMENT
—+—+—+—+—+—	CURB AND GUTTER
—+—+—+—+—+—+—	CONCRETE

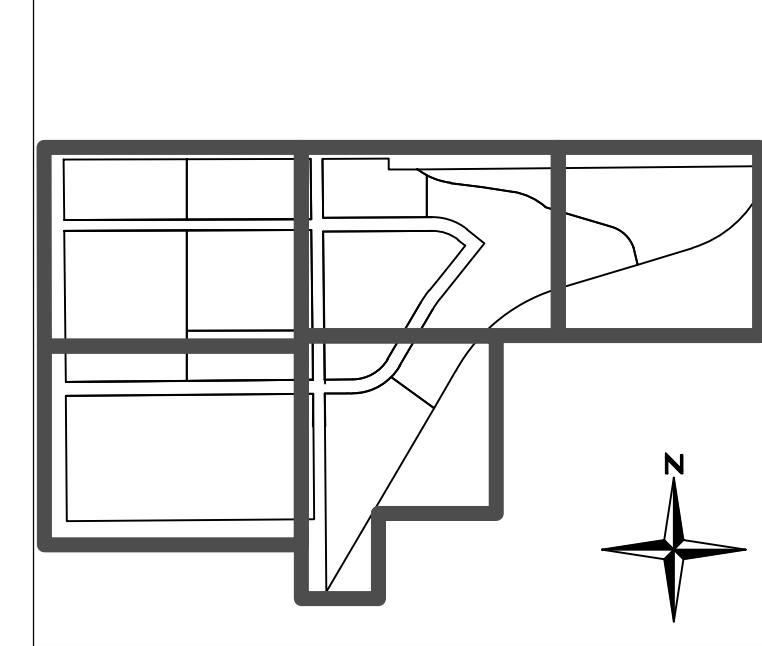
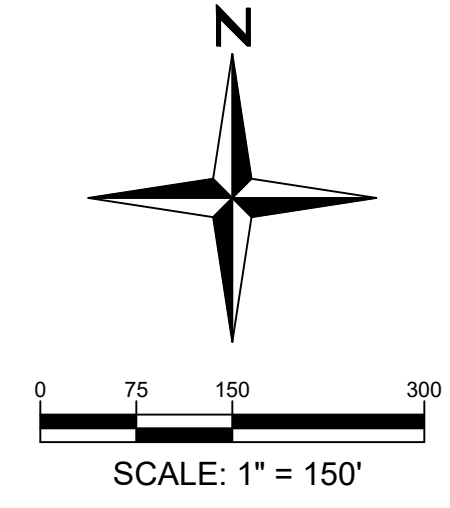
PROPOSED LEGEND

—	PROPOSED PROPERTY LINE
- - - -	PROPOSED R.O.W.
- · - · -	PROPOSED LOT LINE
- · - - -	PROPOSED SETBACK
- · - · - ·	PROPOSED EASEMENT
—+—+—+—	PROPOSED ROAD CENTERLINE
—+—+—+—+—	PROPOSED CURB AND GUTTER
—+—+—+—+—+—	PROPOSED SIDEWALK
*****	PROPOSED 8' TRAIL

FUTURE LEGEND (BY OTHERS)

—	PROPOSED PROPERTY LINE
- - - -	PROPOSED R.O.W.
- · - · -	PROPOSED LOT LINE
- · - - -	PROPOSED SETBACK
- · - · - ·	PROPOSED EASEMENT
—+—+—+—	PROPOSED ROAD CENTERLINE
—+—+—+—+—	PROPOSED CURB AND GUTTER (CATCH)
—+—+—+—+—+—	PROPOSED SIDEWALK

- NOTES:**
- ALL CURB AND GUTTER SHALL BE PER BRIGHTON STANDARD DETAILS.
 - ALL DIMENSIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED.
 - LOT, TRACT AND ROW DIMENSIONS WILL BE FINALIZED WITH THE FINAL PLAT.
 - TRAFFIC IMPACTS TO BE BASED ON ACTUAL FINAL UNIT COUNT AT TIME OF FINAL PLAT AND/OR SITE PLAN.



KEYMAP
SCALE: 1" = 1000'

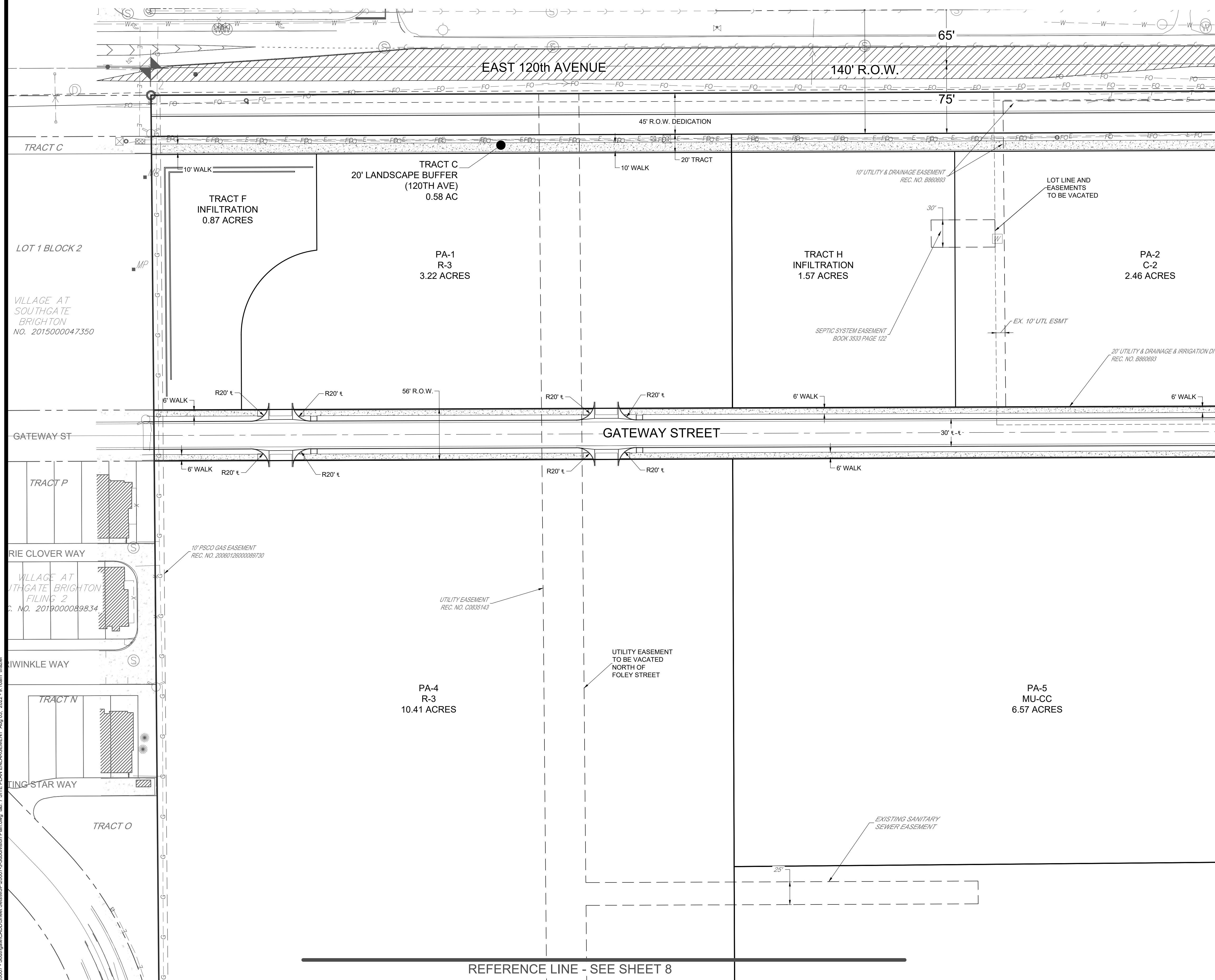
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2022-06-23	6	TO CITY OF BRIGHTON
2022-07-11	7	TO CITY OF BRIGHTON
2022-07-22	8	TO CITY OF BRIGHTON
2022-08-03	9	SIGNATURE SET

DATE	NO.	DESCRIPTION
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2022-06-23	6	TO CITY OF BRIGHTON
2022-07-11	7	TO CITY OF BRIGHTON
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2022-08-03	9	SIGNATURE SET

SUBDIVISION PLAN OF BRIGHTON RIDGE
OVERALL SITE PLAN

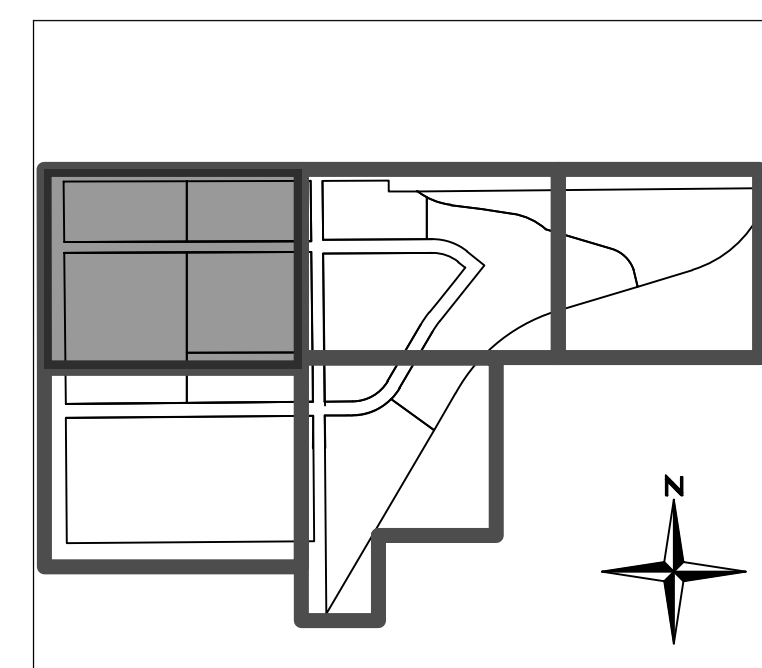
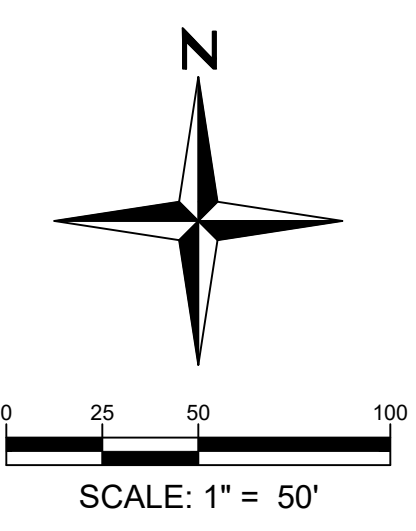
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SUBDIVISION PLAN OF BRIGHTON RIDGE



- EXISTING LEGEND**
- EXISTING PROPERTY LINE
 - - - EXISTING R.O.W.
 - - - EXISTING LOT LINE
 - - - EXISTING EASEMENT
 - - - SECTION LINE
 - - - ROAD CENTERLINE
 - - - EDGE OF PAVEMENT
 - - - CURB AND GUTTER
 - - - CONCRETE
- PROPOSED LEGEND**
- PROPOSED PROPERTY LINE
 - - - PROPOSED R.O.W.
 - - - PROPOSED LOT LINE
 - - - PROPOSED SETBACK
 - - - PROPOSED EASEMENT
 - - - PROPOSED ROAD CENTERLINE
 - - - PROPOSED CURB AND GUTTER
 - - - PROPOSED SIDEWALK
 - ***** PROPOSED 8' TRAIL
- FUTURE LEGEND (BY OTHERS)**
- PROPOSED PROPERTY LINE
 - - - PROPOSED R.O.W.
 - - - PROPOSED LOT LINE
 - - - PROPOSED SETBACK
 - - - PROPOSED EASEMENT
 - - - PROPOSED ROAD CENTERLINE
 - - - PROPOSED CURB AND GUTTER (CATCH)
 - - - PROPOSED SIDEWALK

- NOTES:**
1. ALL CURB AND GUTTER SHALL BE PER BRIGHTON STANDARD DETAILS.
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 4. TRAFFIC IMPACTS TO BE BASED ON ACTUAL FINAL UNIT COUNT AT TIME OF FINAL PLAT AND/OR SITE PLAN.



KEYMAP
SCALE: 1" = 100'

REFERENCE LINE - SEE SHEET 9

REFERENCE LINE - SEE SHEET 8



DATE		NO.		TO CITY OF BRIGHTON		NOTES	
2021-07-15	2	TO CITY OF BRIGHTON					
2021-08-17	3	TO CITY OF BRIGHTON					
2022-01-17	4	TO CITY OF BRIGHTON					
2022-03-08	5	TO CITY OF BRIGHTON					
2022-05-23	6	TO CITY OF BRIGHTON					
2022-07-11	7	TO CITY OF BRIGHTON					
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2022-08-03	9	SIGNATURE SET					

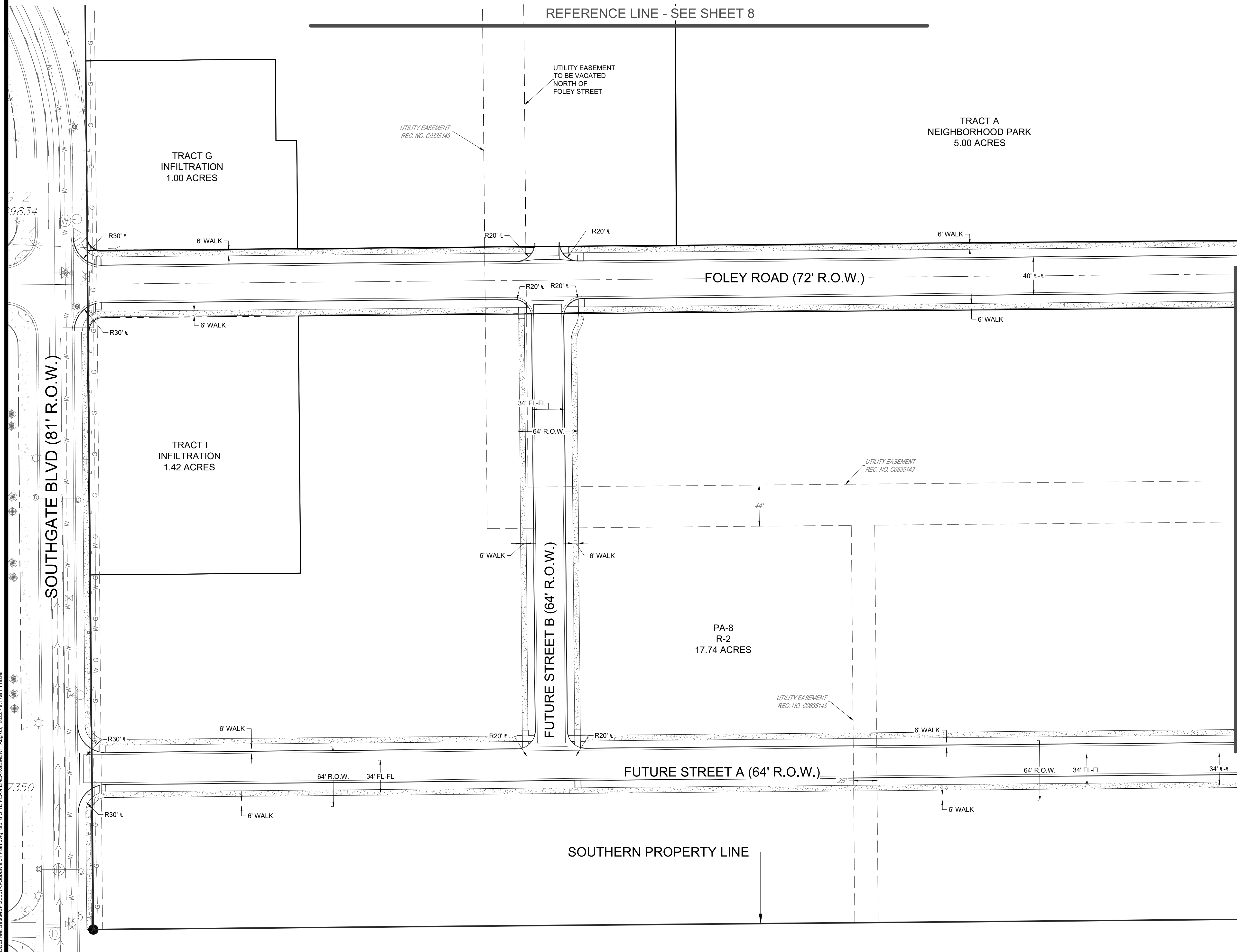
**SUBDIVISION PLAN
OF BRIGHTON RIDGE**

OVERALL SITE PLAN

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SUBDIVISION PLAN OF BRIGHTON RIDGE

REFERENCE LINE - SEE SHEET 8



EXISTING LEGEND

- EXISTING PROPERTY LINE
- EXISTING R.O.W.
- EXISTING LOT LINE
- EXISTING EASEMENT
- SECTION LINE
- ROAD CENTERLINE
- EDGE OF PAVEMENT
- CURB AND GUTTER
- CONCRETE

PROPOSED LEGEND

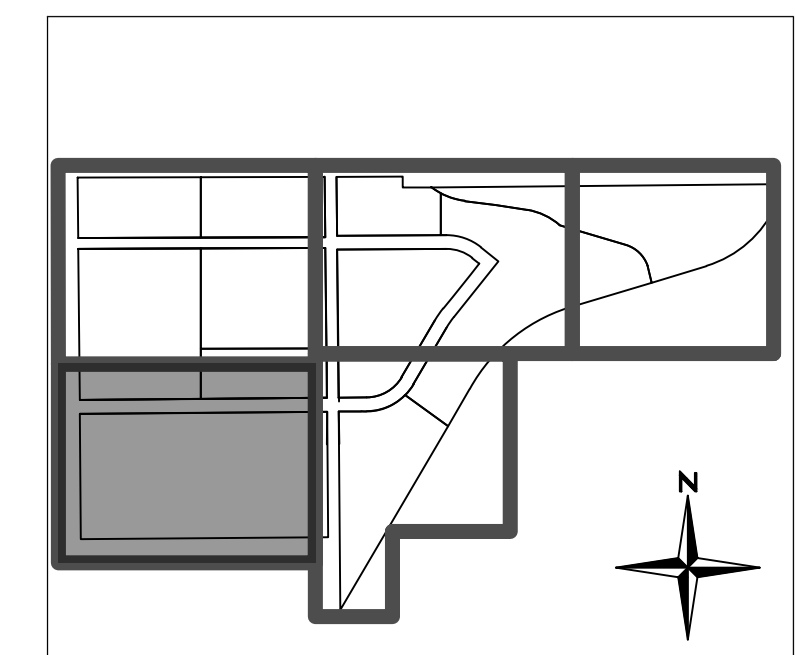
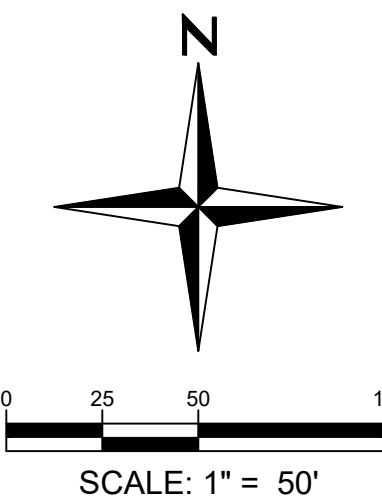
- PROPOSED PROPERTY LINE
- PROPOSED R.O.W.
- PROPOSED LOT LINE
- PROPOSED SETBACK
- PROPOSED EASEMENT
- PROPOSED ROAD CENTERLINE
- PROPOSED CURB AND GUTTER
- PROPOSED SIDEWALK
- PROPOSED 8' TRAIL

FUTURE LEGEND (BY OTHERS)

- PROPOSED PROPERTY LINE
- PROPOSED R.O.W.
- PROPOSED LOT LINE
- PROPOSED SETBACK
- PROPOSED EASEMENT
- PROPOSED ROAD CENTERLINE
- PROPOSED CURB AND GUTTER (CATCH)
- PROPOSED SIDEWALK

NOTES:

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KEYMAP
SCALE: 1" = 1000'



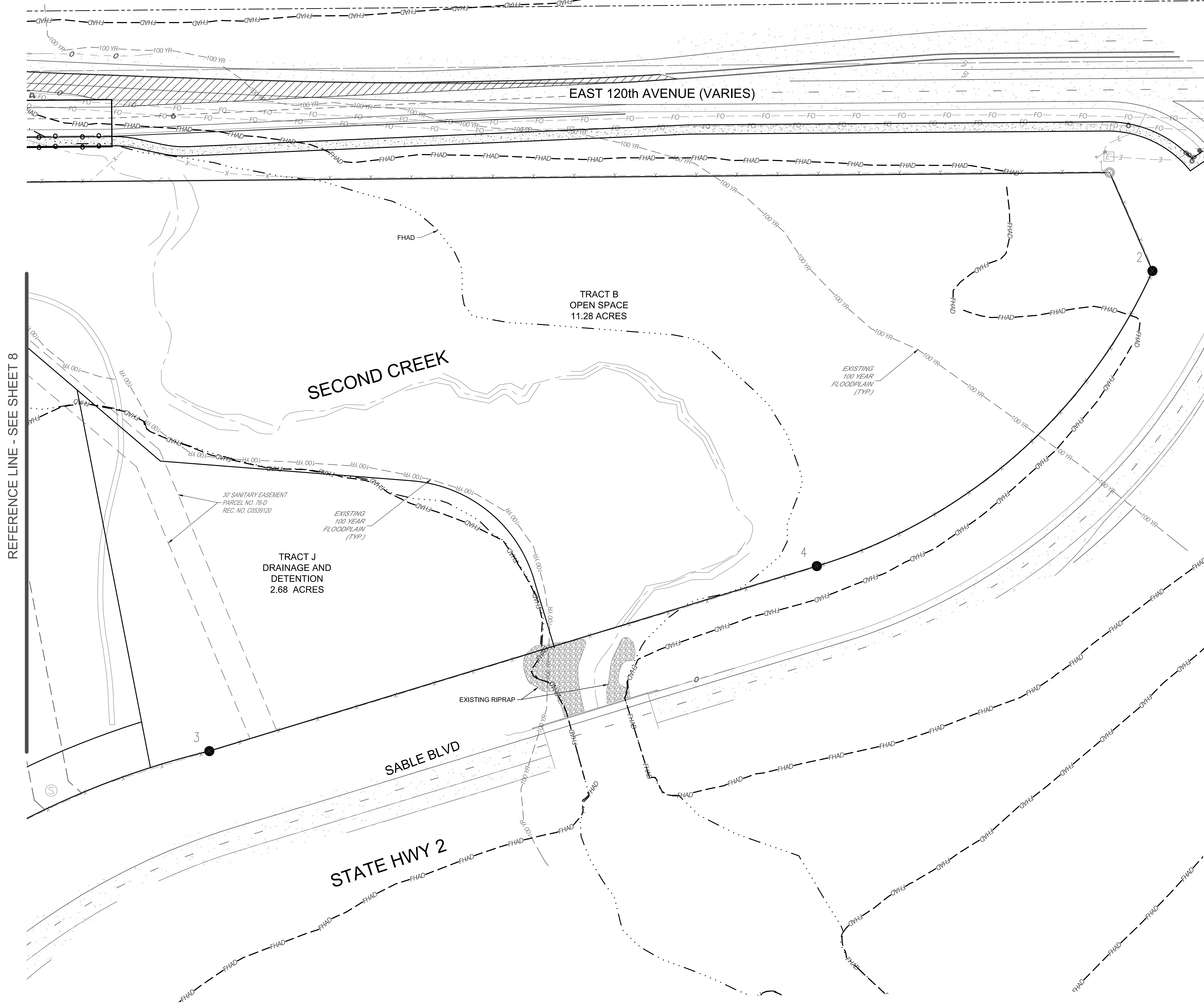
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2022-03-08	4	TO CITY OF BRIGHTON	SMW	SMW
2022-05-23	5	TO CITY OF BRIGHTON	SMW	SMW
2022-07-11	6	TO CITY OF BRIGHTON	SMW	SMW
2022-07-22	7	TO CITY OF BRIGHTON	SMW	SMW
2022-08-03	8	TO CITY OF BRIGHTON	SMW	SMW
	9	SIGNATURE SET		

**SUBDIVISION PLAN
OF BRIGHTON RIDGE**

SITE PLAN ENLARGEMENT

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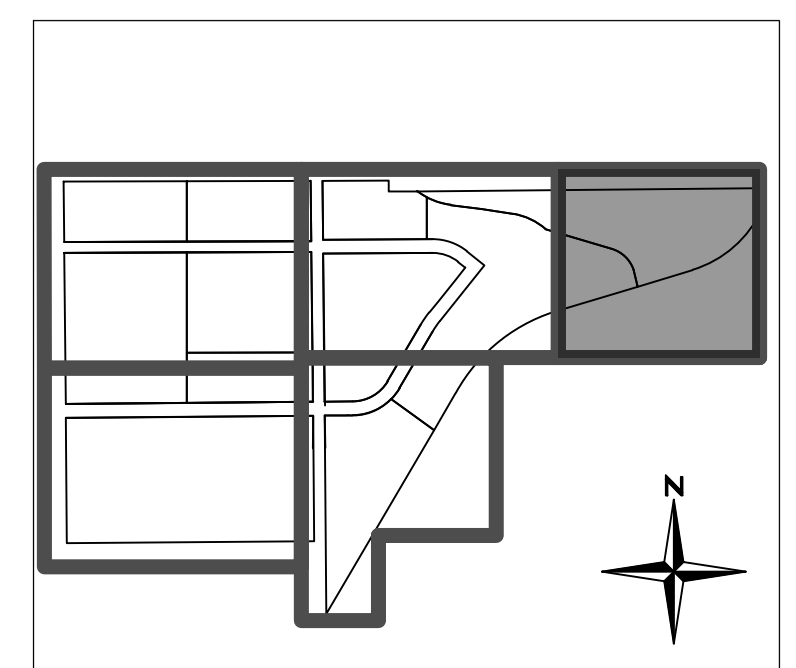
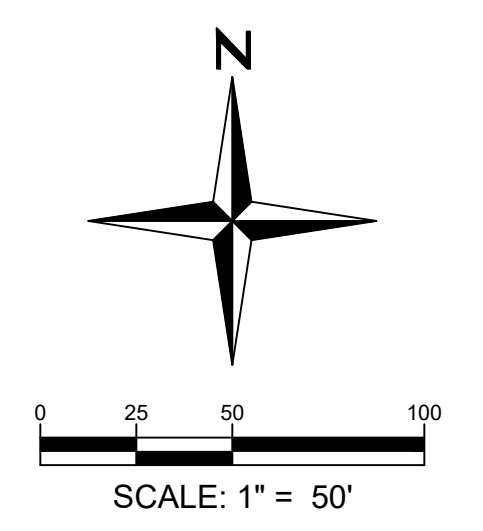
SUBDIVISION PLAN OF BRIGHTON RIDGE



REFERENCE LINE - SEE SHEET 8

- EXISTING LEGEND**
- EXISTING PROPERTY LINE
 - - - EXISTING R.O.W.
 - - - EXISTING LOT LINE
 - - - EXISTING EASEMENT
 - - - SECTION LINE
 - ROAD CENTERLINE
 - EDGE OF PAVEMENT
 - CURB AND GUTTER
 - CONCRETE
- PROPOSED LEGEND**
- PROPOSED PROPERTY LINE
 - - - PROPOSED R.O.W.
 - - - PROPOSED LOT LINE
 - - - PROPOSED SETBACK
 - - - PROPOSED EASEMENT
 - PROPOSED ROAD CENTERLINE
 - PROPOSED CURB AND GUTTER
 - PROPOSED SIDEWALK
 - ***** PROPOSED 8' TRAIL
- FUTURE LEGEND (BY OTHERS)**
- PROPOSED PROPERTY LINE
 - - - PROPOSED R.O.W.
 - - - PROPOSED LOT LINE
 - - - PROPOSED SETBACK
 - - - PROPOSED EASEMENT
 - PROPOSED ROAD CENTERLINE
 - PROPOSED CURB AND GUTTER (CATCH)
 - PROPOSED SIDEWALK

- NOTES:**
1. ALL CURB AND GUTTER SHALL BE PER BRIGHTON STANDARD DETAILS.
 2. ALL DIMENSIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED.
 3. LOT, TRACT AND ROW DIMENSIONS WILL BE FINALIZED WITH THE FINAL PLAT.
 4. TRAFFIC IMPACTS TO BE BASED ON ACTUAL FINAL UNIT COUNT AT TIME OF FINAL PLAT AND/OR SITE PLAN.



KEYMAP
SCALE: 1" = 1000'



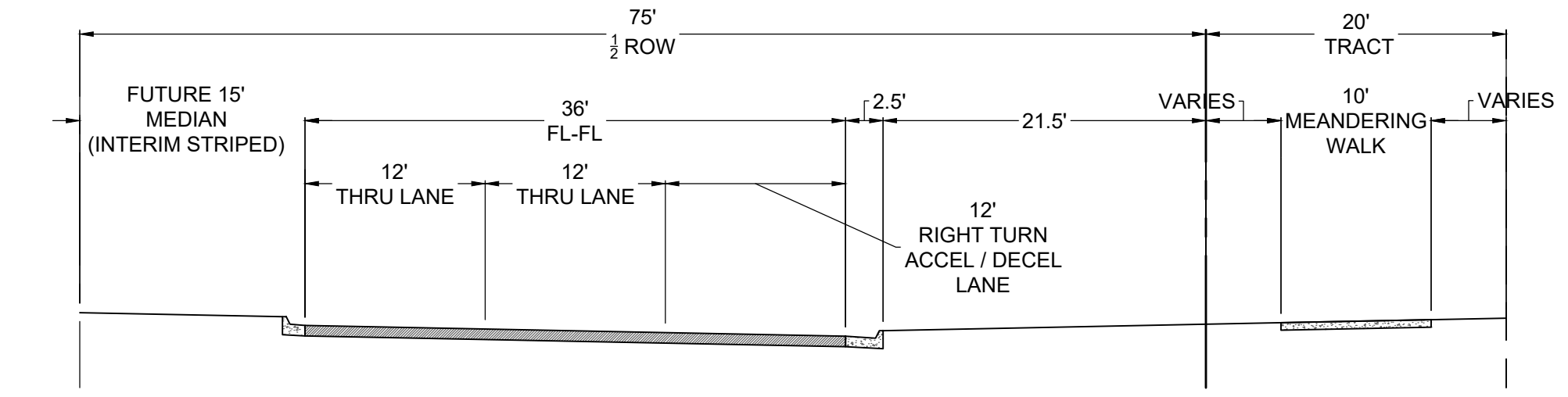
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2022-03-08	4	REVISED PER CITY COMMENTS
2022-05-23	5	REVISED PER CITY COMMENTS
2022-07-11	6	REVISED PER CITY COMMENTS
2022-07-22	7	REVISED PER CITY COMMENTS
2022-08-03	8	REVISED PER CITY COMMENTS
	9	SIGNATURE SET

**SUBDIVISION PLAN
OF BRIGHTON RIDGE**

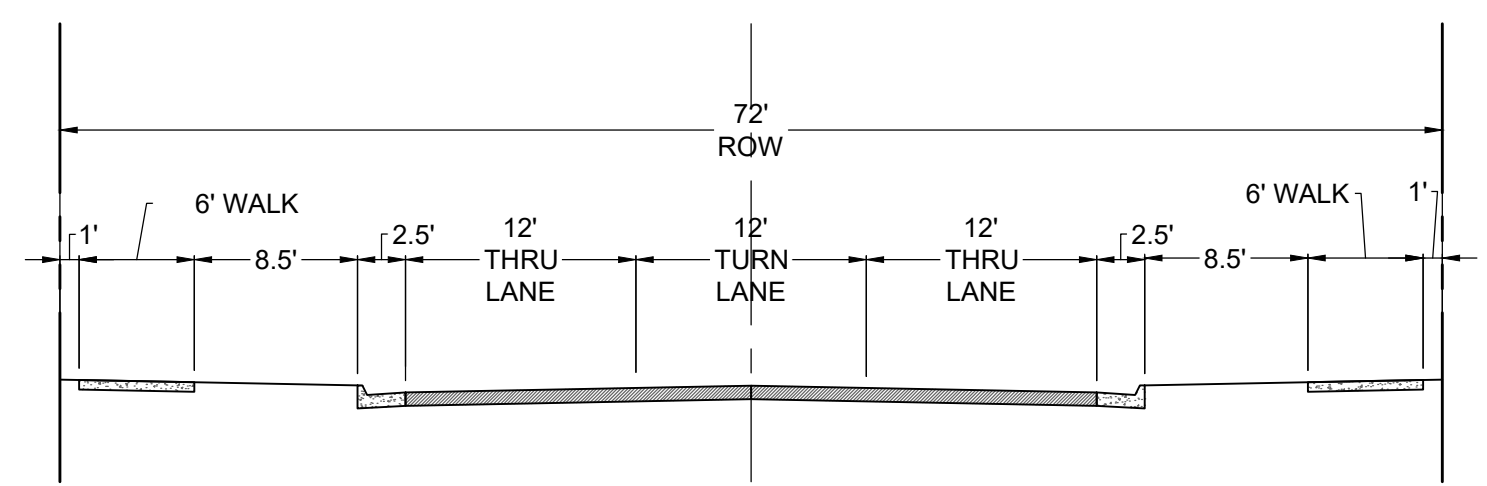
SITE PLAN ENLARGEMENT

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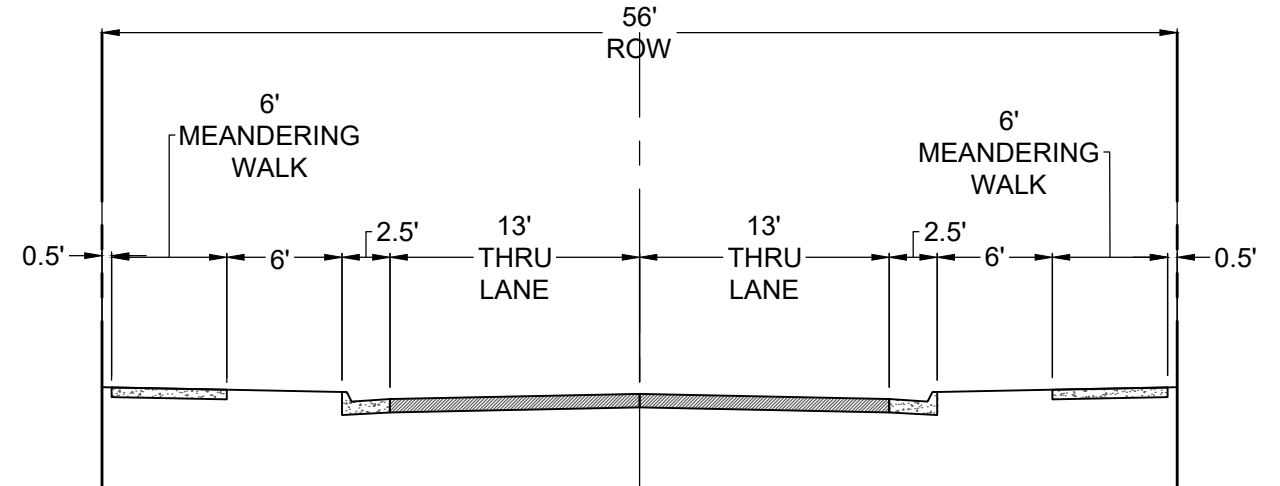
SUBDIVISION PLAN OF BRIGHTON RIDGE



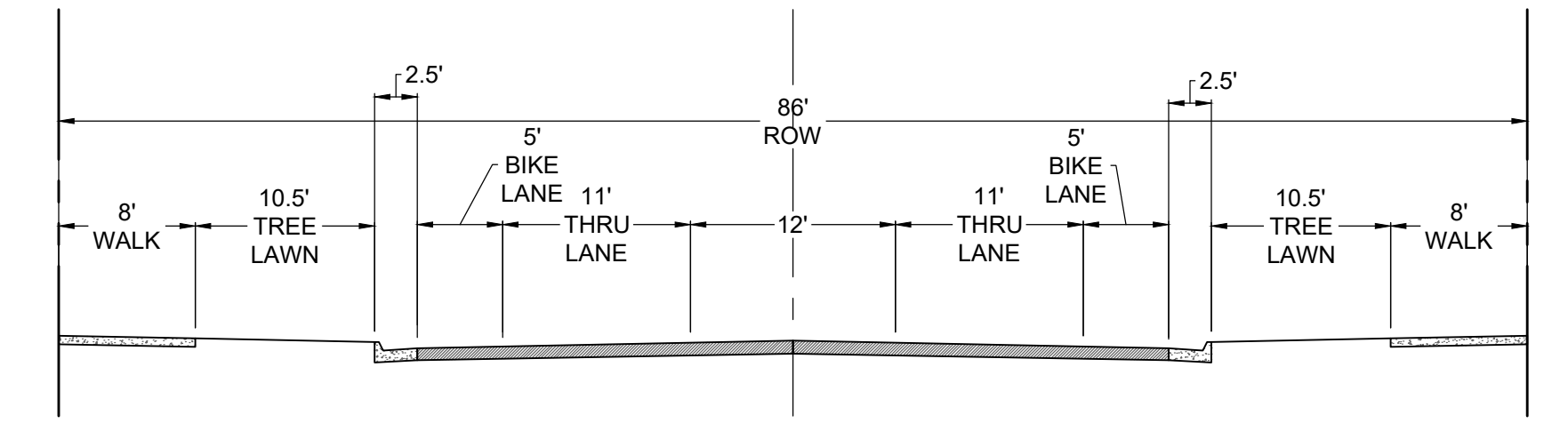
SECTION A-A
ARTERIAL STREET SECTION - 140' ROW
SOUTH 1/2 120TH AVE.



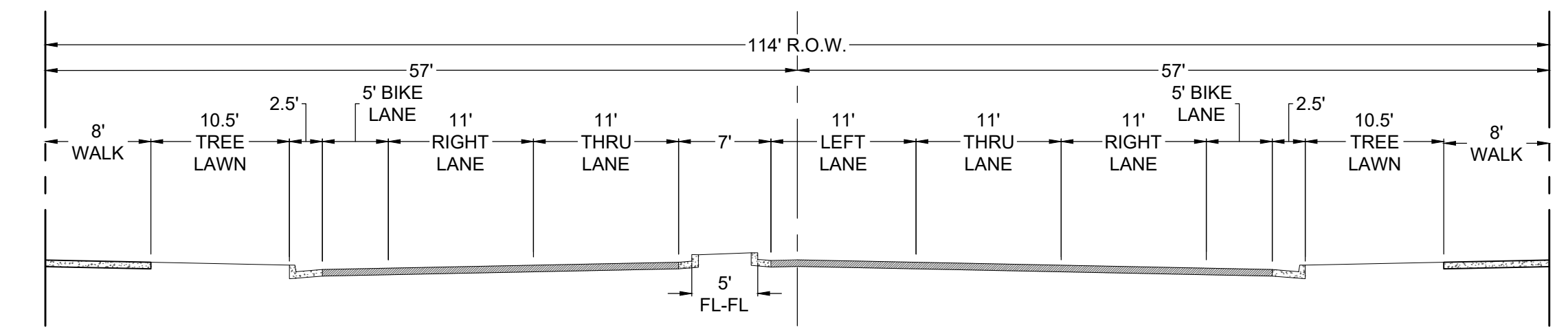
SECTION B-B
COLLECTOR STREET SECTION - 72' RIGHT OF WAY
FOLEY ROAD



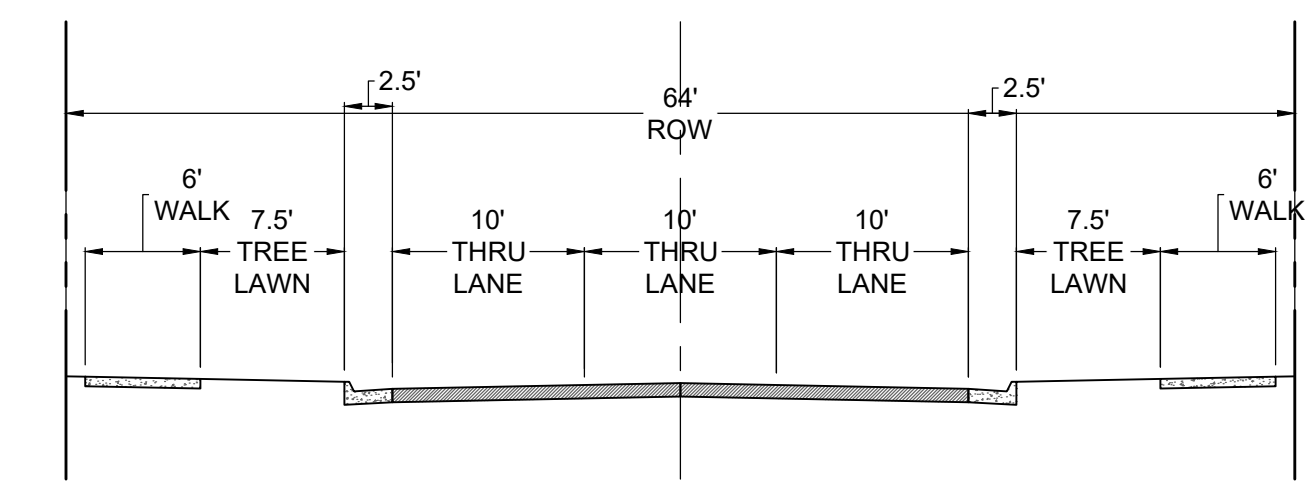
SECTION C-C
COMMERCIAL STREET SECTION - 56' RIGHT OF WAY
GATEWAY STREET



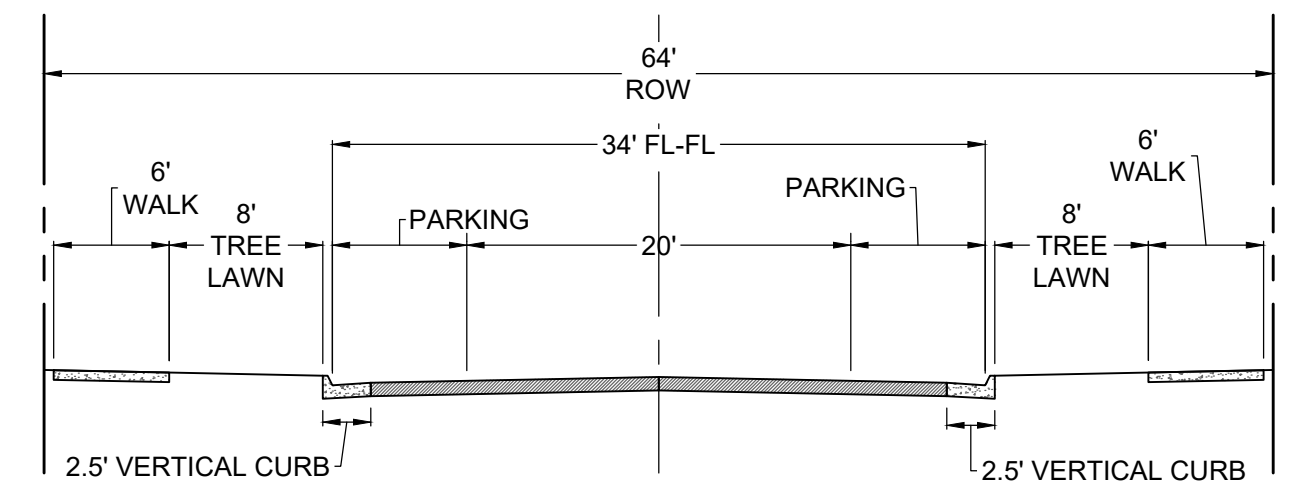
SECTION D-D
NEIGHBORHOOD PARKWAY SECTION - 86' ROW
S PLATTE VALLEY AVE



SECTION E-E
NEIGHBORHOOD ENTRANCE SECTION - 114' ROW
POTOMAC STREET

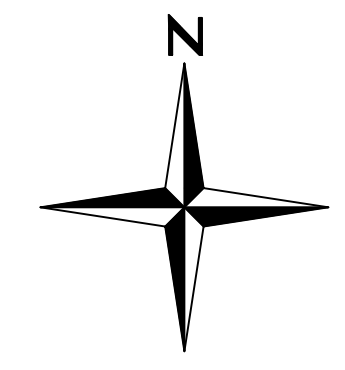
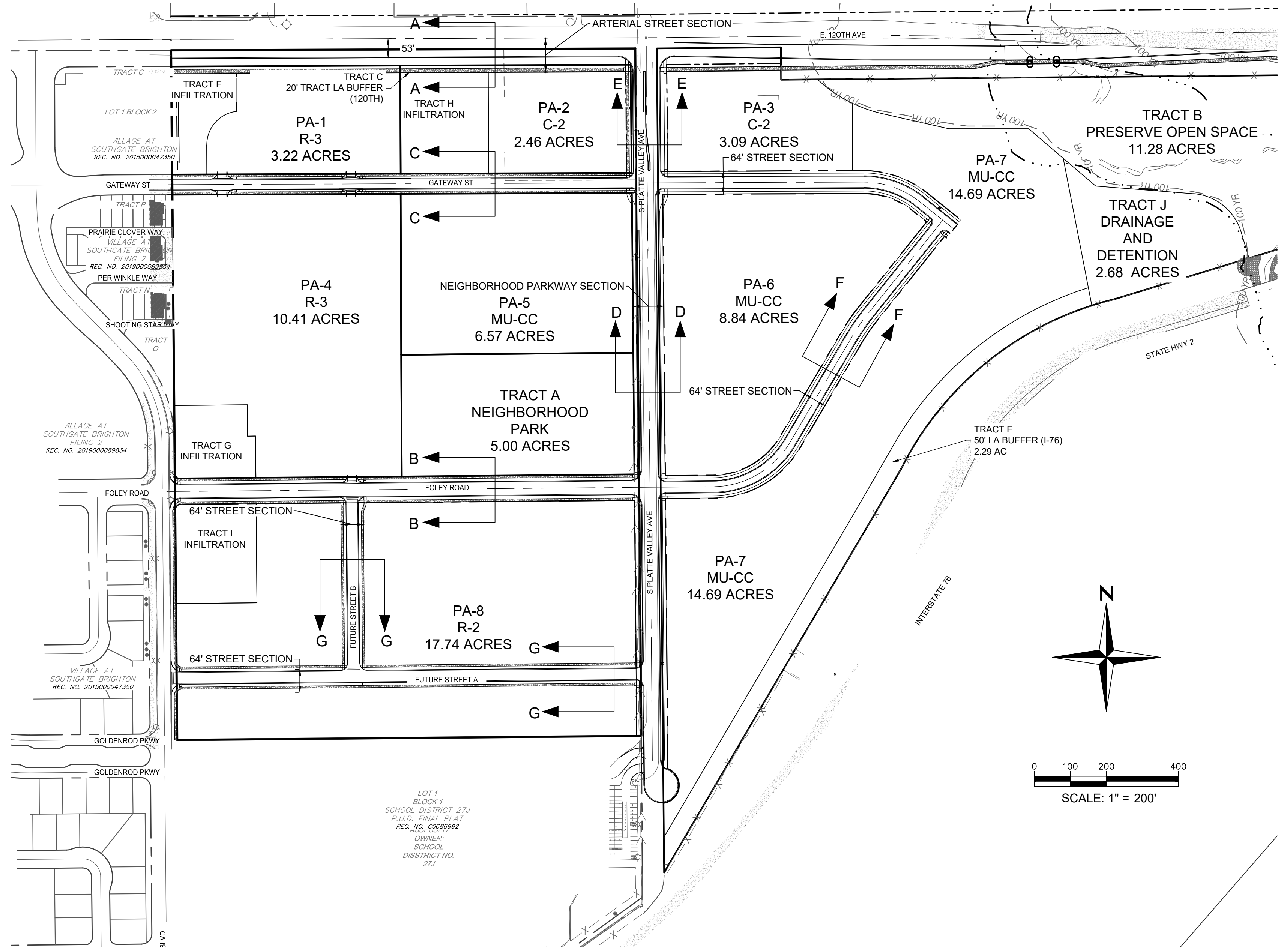


SECTION F-F
COMMERCIAL STREET SECTION - 64' ROW
LOCAL STREETS



SECTION G-G
NEIGHBORHOOD CONNECTOR STREET SECTION - 64' ROW
LOCAL STREETS

NOTE: FINAL STREET SECTIONS TO BE DETERMINED AT THE TIME OF FINAL PLAT.



SCALE: 1" = 200'



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APPROVED	SMW	DATE	2007
PROJECT NO.	2007	HORIZ. SCALE	
VERT. SCALE			

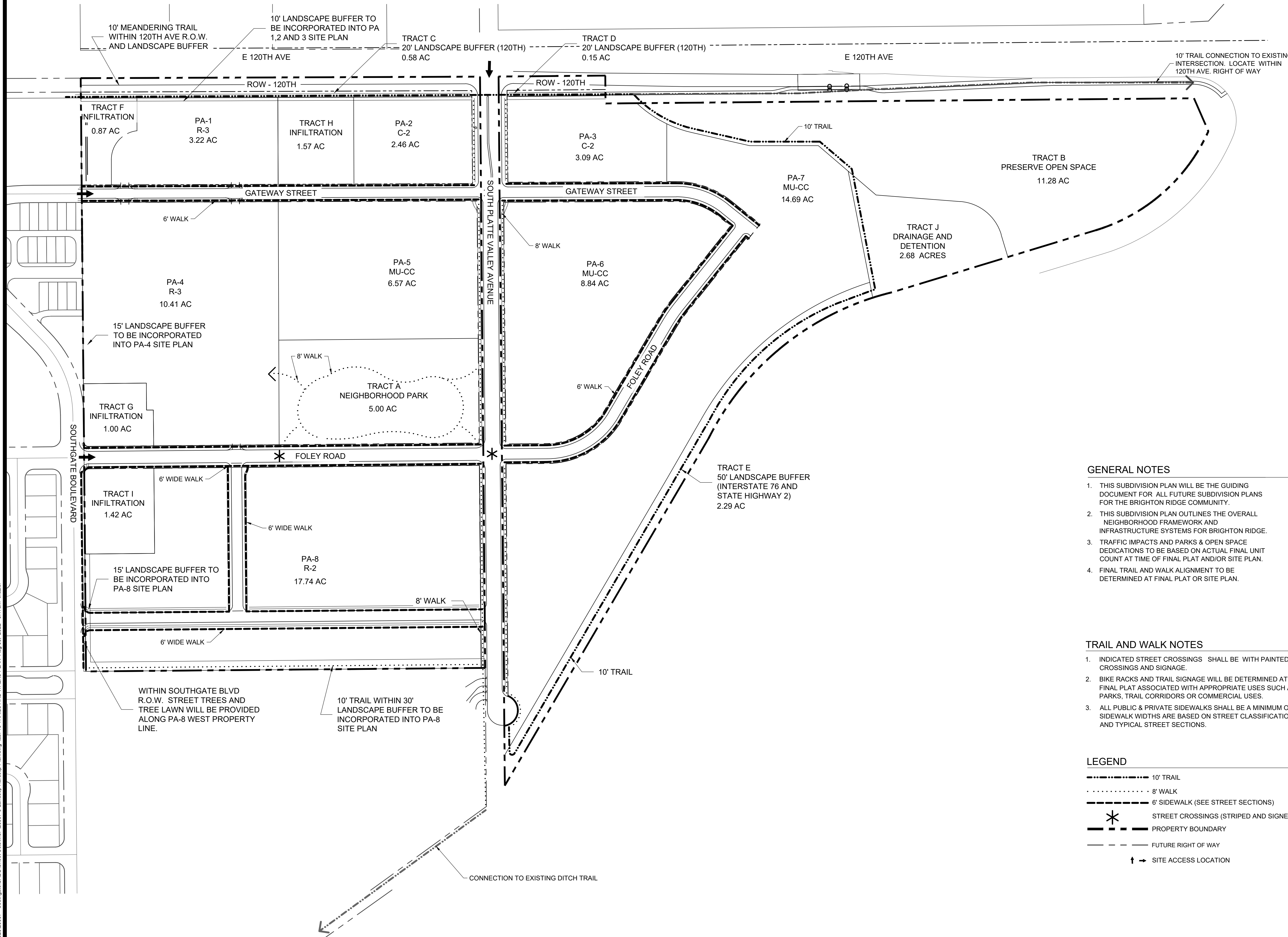
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2021-08-17	2	TO CITY OF BRIGHTON
2022-01-17	3	TO CITY OF BRIGHTON
2022-03-08	4	TO CITY OF BRIGHTON
2022-03-23	5	TO CITY OF BRIGHTON
2022-05-23	6	TO CITY OF BRIGHTON
2022-07-11	7	TO CITY OF BRIGHTON
2022-07-22	8	TO CITY OF BRIGHTON
2022-08-03	9	SIGNATURE SET

SUBDIVISION PLAN
OF BRIGHTON RIDGE

STREET AND BLOCK PLAN

I:\2020\2007 - Southgate\CAD\Sheet\Sheet\MSR\2007-4-Street Block Plan.dwg Tab: 12 STREET AND BLOCK PLAN Aug 03, 2022 - 9:17am tfraser

SUBDIVISION PLAN OF BRIGHTON RIDGE



GENERAL NOTES

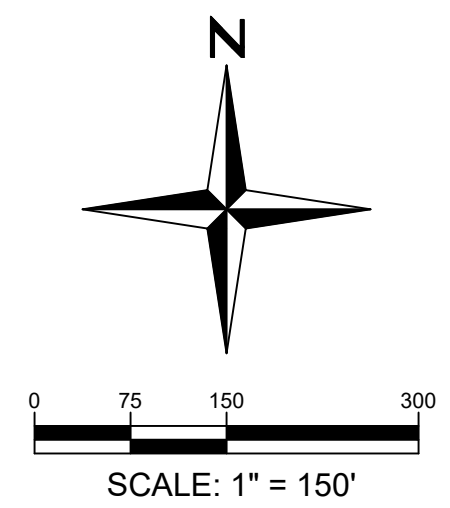
1. THIS SUBDIVISION PLAN WILL BE THE GUIDING DOCUMENT FOR ALL FUTURE SUBDIVISION PLANS FOR THE BRIGHTON RIDGE COMMUNITY.
2. THIS SUBDIVISION PLAN OUTLINES THE OVERALL NEIGHBORHOOD FRAMEWORK AND INFRASTRUCTURE SYSTEMS FOR BRIGHTON RIDGE.
3. TRAFFIC IMPACTS AND PARKS & OPEN SPACE DEDICATIONS TO BE BASED ON ACTUAL FINAL UNIT COUNT AT TIME OF FINAL PLAT AND/OR SITE PLAN.
4. FINAL TRAIL AND WALK ALIGNMENT TO BE DETERMINED AT FINAL PLAT OR SITE PLAN.

TRAIL AND WALK NOTES

1. INDICATED STREET CROSSINGS SHALL BE WITH PAINTED CROSSINGS AND SIGNAGE.
2. BIKE RACKS AND TRAIL SIGNAGE WILL BE DETERMINED AT FINAL PLAT ASSOCIATED WITH APPROPRIATE USES SUCH AS PARKS, TRAIL CORRIDORS OR COMMERCIAL USES.
3. ALL PUBLIC & PRIVATE SIDEWALKS SHALL BE A MINIMUM OF 5'. SIDEWALK WIDTHS ARE BASED ON STREET CLASSIFICATION AND TYPICAL STREET SECTIONS.

LEGEND

- 10' TRAIL
- 8' WALK
- - - - - 6' SIDEWALK (SEE STREET SECTIONS)
- * STREET CROSSINGS (STRIPED AND SIGNED)
- PROPERTY BOUNDARY
- - - - - FUTURE RIGHT OF WAY
- ↑ → SITE ACCESS LOCATION



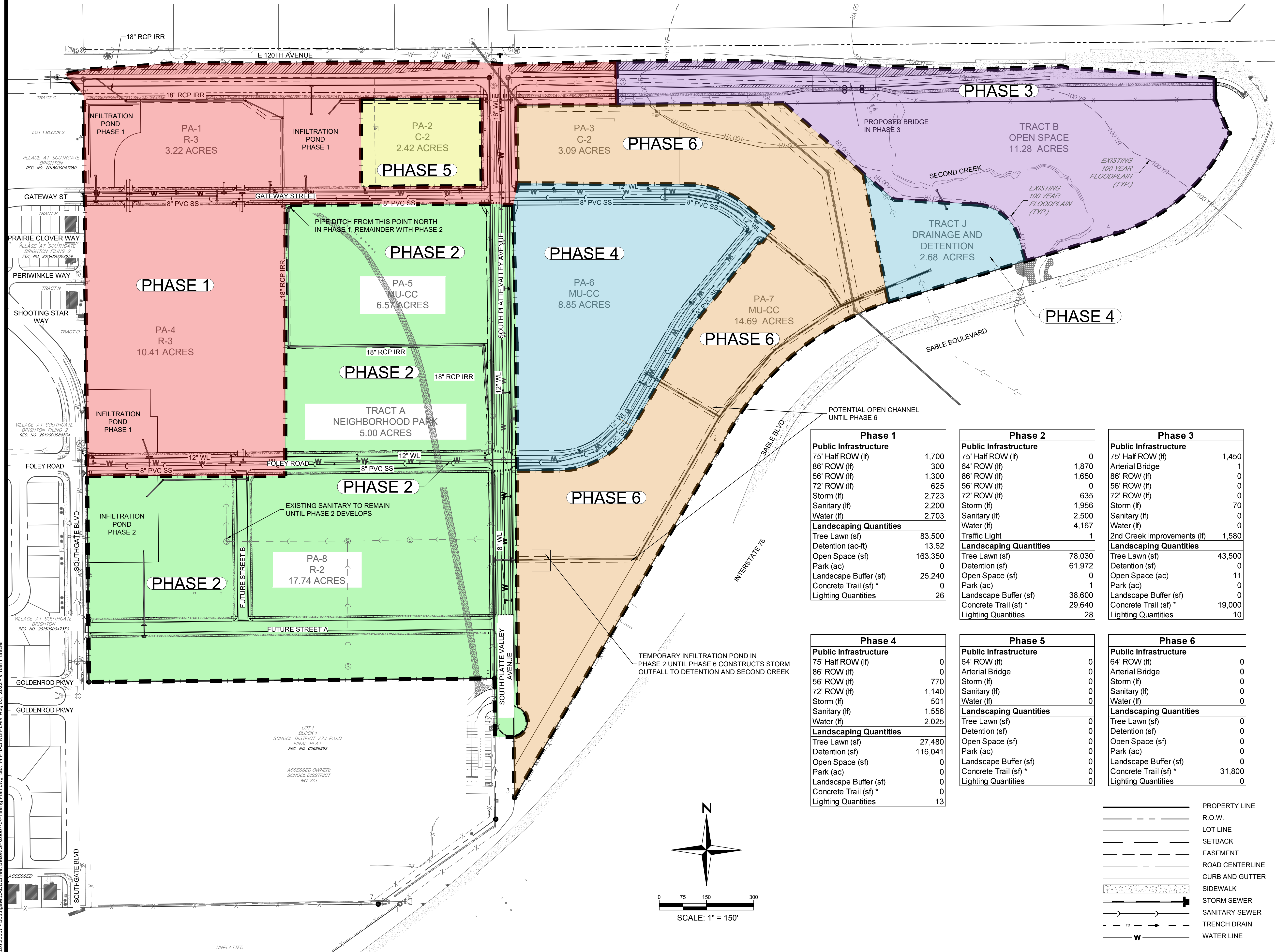
DRAWN	AEV
CHECKED	SAW
APPROVED	SHM, TF
PROJECT NO.	20007
HORIZ. SCALE	HORIZ. SCALE
VERT. SCALE	VERT. SCALE

DATE	NO.	NOTES
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2021-08-17	3	TO CITY OF BRIGHTON
2022-01-17	4	TO CITY OF BRIGHTON
2022-03-08	5	TO CITY OF BRIGHTON
2022-03-23	6	TO CITY OF BRIGHTON
2022-05-23	7	TO CITY OF BRIGHTON
2022-07-11	8	TO CITY OF BRIGHTON
2022-08-03	9	SIGNATURE SET

SUBDIVISION PLAN OF BRIGHTON RIDGE TRAILS AND WALKS PLAN

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SUBDIVISION PLAN OF BRIGHTON RIDGE



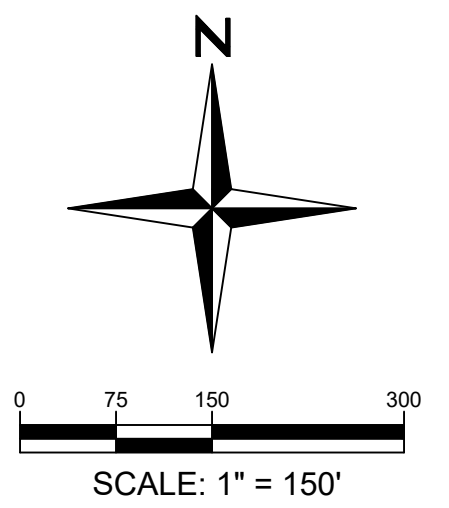
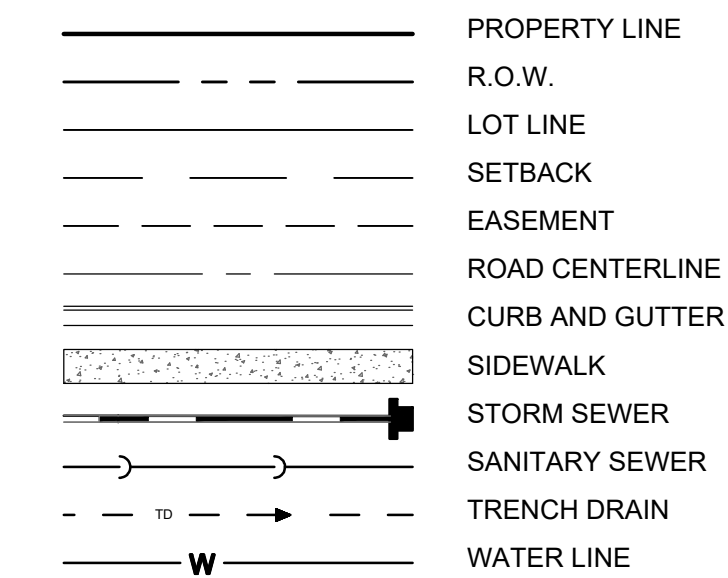
DEVELOPER IMPROVEMENTS BY PHASE

- PHASE 1:**
- GATEWAY TO S PLATTE VALLEY AVE
 - FOLEY TO EASTERN BOUNDARY OF PA-4
 - SOUTH PLATTE VALLEY AVENUE FROM GATEWAY TO 120TH
 - 120TH AVENUE FROM WESTERN BOUNDARY TO ~300' EAST OF S PLATTE VALLEY AVE
 - INFILTRATION PONDS ON PA-1, PA-4 AND PA-2
 - NO TRAIL IMPROVEMENTS EXCEPT SIDEWALK ALONG TYPICAL STREET SECTIONS.
- PHASE 2:**
- SOUTH PLATTE VALLEY AVENUE FROM GATEWAY TO THE FIRE TURNAROUND
 - TRACT A PARK
 - INFILTRATION POND FOR PA-8
 - FOLEY FROM PHASE 1 TO S PLATTE VALLEY AVE
 - 10' TRAIL IMPROVEMENTS ALONG SOUTH SIDE OF PA-8, 8' SIDEWALKS ALONG THE EAST SIDE OF SOUTHGATE BOULEVARD, AND 8' TRAIL IMPROVEMENTS WITHIN THE NEIGHBORHOOD PARK. IN ADDITION TO SIDEWALK ALONG TYPICAL STREET SECTIONS.
 - TEMPORARY INFILTRATION POND (AND EASEMENT)
- PHASE 3:**
- 120TH - 300 EAST OF SOUTH PLATTE VALLEY AVENUE TO SABLE BOULEVARD
 - BRIDGE OVER 120TH
 - SECOND CREEK IMPROVEMENTS
 - EXTEND 10' TRAIL ALONG THE SOUTH SIDE OF 120TH AVENUE TO THE SOUTHWESTERN CURB RAMP AT THE INTERSECTION WITH SABLE BOULEVARD.
- PHASE 4:**
- GATEWAY AND FOLEY STREETS EAST OF S PLATTE VALLEY AVE
 - TRACT J DETENTION AND WATER QUALITY POND
 - NO TRAIL IMPROVEMENTS EXCEPT FOR SIDEWALK ALONG TYPICAL STREET SECTIONS.
- PHASE 5:**
- NO OFF-SITE IMPROVEMENTS
- PHASE 6:**
- 10' TRAIL IMPROVEMENTS ALONG SABLE BOULEVARD, TRACT J AND CONNECTING UP TO 120TH AVENUE.

PHASING NOTES:

- NOTWITHSTANDING ANYTHING TO THE CONTRARY IN THIS MAJOR SUBDIVISION PLAN, THE DEVELOPMENT OF THE REAL PROPERTY AND PUBLIC IMPROVEMENTS SHALL OCCUR IN PHASING AS IDENTIFIED ON THIS SHEET. EACH PHASE MUST BE ABLE TO "STAND ALONE" WITH RESPECT TO ALL PUBLIC IMPROVEMENTS AND EACH PHASE MUST PROVIDE ADEQUATE INFRASTRUCTURE CAPACITY FOR RELATED FUTURE PHASES. IF ANY OWNER/DEVELOPER MAY OBTAIN PERMITS FROM THE CITY RELATED TO INDIVIDUAL PHASES WITHOUT THE NECESSITY OF COMPLETING OTHER PHASES, ALL MODIFICATIONS TO THE PHASING PLAN SHALL BE IN WRITING AND SIGNED BY THE CITY MANAGER.
- PHASES 5 AND 6 MAY NOT HAPPEN IN SEQUENTIAL ORDER AND WILL BE DRIVEN BY MARKET DEMAND.
 - ALL PHASES MUST PROVIDE TWO POINTS OF VEHICULAR ACCESS
 - ALL PHASES MUST PROVIDE ADEQUATE INFRASTRUCTURE INCLUDING: SANITARY SEWER, WATER WITH ADEQUATE LOOPING AND STORM DRAINAGE FACILITIES.
 - ALL OTHER PHASES (1-4) SHALL BE CONSTRUCTED IN SEQUENTIAL ORDER.
- TRAFFIC SIGNAL AT 120TH AND SOUTH PLATTE VALLEY AVENUE WILL BE WARRANTED UPON COMPLETE BUILD-OUT OF PHASE 2.
 - THE PROJECT WILL CONTRIBUTE UP TO 50% OF THE ACTUAL COST OF THIS SIGNAL.
- TRAFFIC IMPACTS TO BE FINALIZED BASED UPON UNITS OR SQUARE FOOTAGE OF DEVELOPMENT AT TIME OF FINAL PLAT AND/OR SITE PLAN.
 - AS EACH PHASE IS COMPLETED, AND PRIOR TO THE NEXT PHASE BEGINNING, CITY OF BRIGHTON STAFF WILL EVALUATE THE CAPACITY OF THE EXISTING LIFT STATION. THE LIFT STATION MAY REQUIRE UPGRADES AT THE DEVELOPERS COST WITH SUBSEQUENT PHASES IF CAPACITY IS INADEQUATE TO SUPPORT PROPOSED DEVELOPMENT.
 - ALL TRAILS SHOWN ON SHEET 13 SHALL BE INSTALLED WITH THEIR APPROPRIATE PHASE
 - *TRAIL IMPROVEMENTS IN ADDITION TO THE SIDEWALK PROPOSED ALONG THE TYPICAL STREET SECTION.
 - THE PROPOSED INFILTRATION AND DETENTION PONDS ARE NOT PUBLIC IMPROVEMENTS BUT HAVE BEEN INCLUDED IN THE QUANTITIES AND THIS PHASING PLAN AS THEY WILL BE REQUIRED TO SERVE THE IMPROVEMENTS, BOTH PUBLIC AND PRIVATE. THE INFILTRATION BASINS AND DETENTION/WATER QUALITY POND WILL BE PRIVATELY OWNED AND MAINTAINED.

Phase 1		Phase 2		Phase 3	
Public Infrastructure		Public Infrastructure		Public Infrastructure	
75' Half ROW (lf)	1,700	75' Half ROW (lf)	0	75' Half ROW (lf)	1,450
86' ROW (lf)	300	64' ROW (lf)	1,870	Arterial Bridge	1
56' ROW (lf)	1,300	86' ROW (lf)	1,650	86' ROW (lf)	0
72' ROW (lf)	625	56' ROW (lf)	0	56' ROW (lf)	0
Storm (lf)	2,723	72' ROW (lf)	635	72' ROW (lf)	0
Sanitary (lf)	2,200	Storm (lf)	1,956	Storm (lf)	70
Water (lf)	2,703	Sanitary (lf)	2,500	Sanitary (lf)	0
		Water (lf)	4,167	Water (lf)	0
		Traffic Light	1	2nd Creek Improvements (lf)	1,580
Landscaping Quantities		Landscaping Quantities		Landscaping Quantities	
Tree Lawn (sf)	83,500	Tree Lawn (sf)	78,030	Tree Lawn (sf)	43,500
Detention (ac-ft)	13.62	Detention (sf)	61,972	Detention (sf)	0
Open Space (sf)	163,350	Open Space (sf)	0	Open Space (ac)	11
Park (ac)	0	Park (ac)	1	Park (ac)	0
Landscape Buffer (sf)	25,240	Landscape Buffer (sf)	38,600	Landscape Buffer (sf)	0
Concrete Trail (sf) *	0	Concrete Trail (sf) *	29,640	Concrete Trail (sf) *	19,000
Lighting Quantities	26	Lighting Quantities	28	Lighting Quantities	10
Phase 4		Phase 5		Phase 6	
Public Infrastructure		Public Infrastructure		Public Infrastructure	
75' Half ROW (lf)	0	64' ROW (lf)	0	64' ROW (lf)	0
86' ROW (lf)	0	Arterial Bridge	0	Arterial Bridge	0
56' ROW (lf)	770	Storm (lf)	0	Storm (lf)	0
72' ROW (lf)	1,140	Sanitary (lf)	0	Sanitary (lf)	0
Storm (lf)	501	Water (lf)	0	Water (lf)	0
Sanitary (lf)	1,556				
Water (lf)	2,025	Landscaping Quantities		Landscaping Quantities	
		Tree Lawn (sf)	0	Tree Lawn (sf)	0
Landscaping Quantities		Detention (sf)	0	Detention (sf)	0
Tree Lawn (sf)	27,480	Open Space (sf)	0	Open Space (sf)	0
Detention (sf)	116,041	Park (ac)	0	Park (ac)	0
Open Space (sf)	0	Landscape Buffer (sf)	0	Landscape Buffer (sf)	0
Park (ac)	0	Concrete Trail (sf) *	0	Concrete Trail (sf) *	31,800
Landscape Buffer (sf)	0	Lighting Quantities	0	Lighting Quantities	0
Concrete Trail (sf) *	0				
Lighting Quantities	13				



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2022-03-23	5	TO CITY OF BRIGHTON
2022-05-23	6	TO CITY OF BRIGHTON
2022-07-11	7	TO CITY OF BRIGHTON
2022-08-03	8	TO CITY OF BRIGHTON
	9	SIGNATURE SET

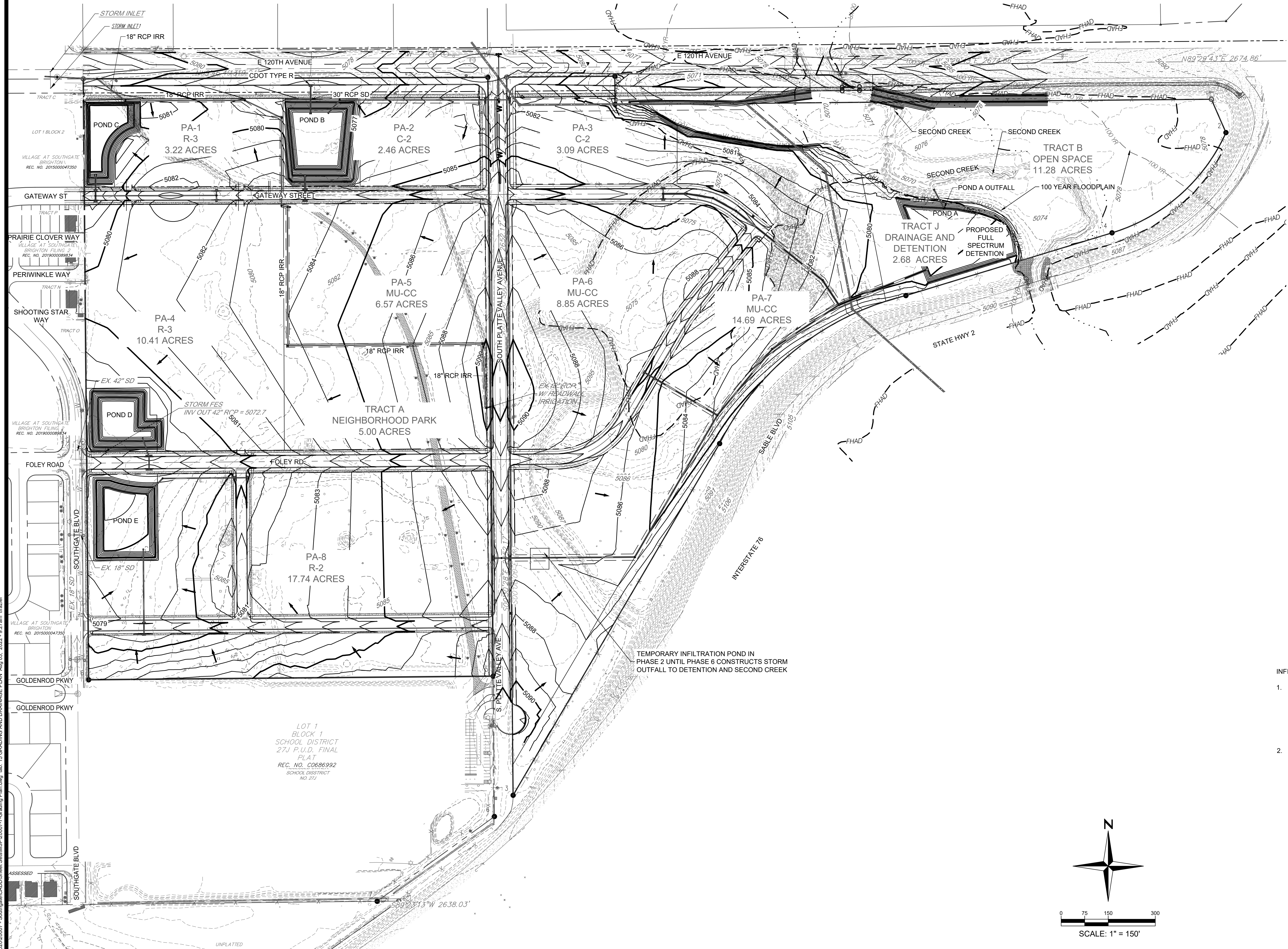
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**SUBDIVISION PLAN
OF BRIGHTON RIDGE**

PHASING PLAN

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SUBDIVISION PLAN OF BRIGHTON RIDGE



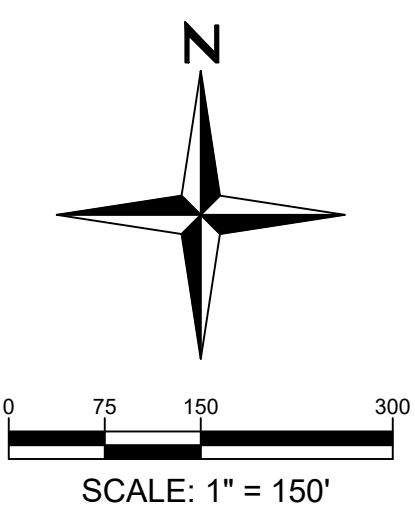
PROPOSED LEGEND

- PROPERTY LINE
- R.O.W.
- LOT LINE
- SETBACK
- EASEMENT
- ROAD CENTERLINE
- CURB AND GUTTER
- SIDEWALK
- STORM SEWER
- SANITARY SEWER
- TRENCH DRAIN
- WATER LINE

GRADING LEGEND

- 5281 EXISTING MINOR CONTOUR
- 5280 EXISTING MAJOR CONTOUR
- 5281 PROPOSED MINOR CONTOUR
- 5280 PROPOSED MAJOR CONTOUR
- PROPOSED STORM SEWER LINE
- PROPOSED MANHOLE
- PROPOSED BOX BASE MANHOLE
- PROPOSED INLET
- PROPOSED FLARED END SECTION
- FLOW ARROW

- INFILTRATION POND NOTE:
1. IF INFILTRATION PONDS ARE UTILIZED THE INFILTRATION RATES NEED TO BE INTERPRETED TO DRAIN THE 5- AND 100-YEAR STORMS. IF SOIL MODIFICATIONS SUCH AS PERCOLATION WELLS ARE RELIED UPON TO MEET STATE REQUIRED DRAIN TIMES, INFILTRATION TESTS WILL BE REQUIRED TO AFTER CONSTRUCTION TO CONFIRM FUNCTIONALITY.
 2. ONGOING MAINTENANCE OF INFILTRATION AND DETENTION PONDS WILL BE REQUIRED BY THE DEVELOPER/METRO DISTRICT AND WILL BE COORDINATED WITH POND SPECIFIC CONSTRUCTION PLANS.



NOTES	
DATE	NO.
2021-07-15	2
2021-08-17	3
2022-01-17	4
2022-03-08	5
2022-05-23	6
2022-07-11	7
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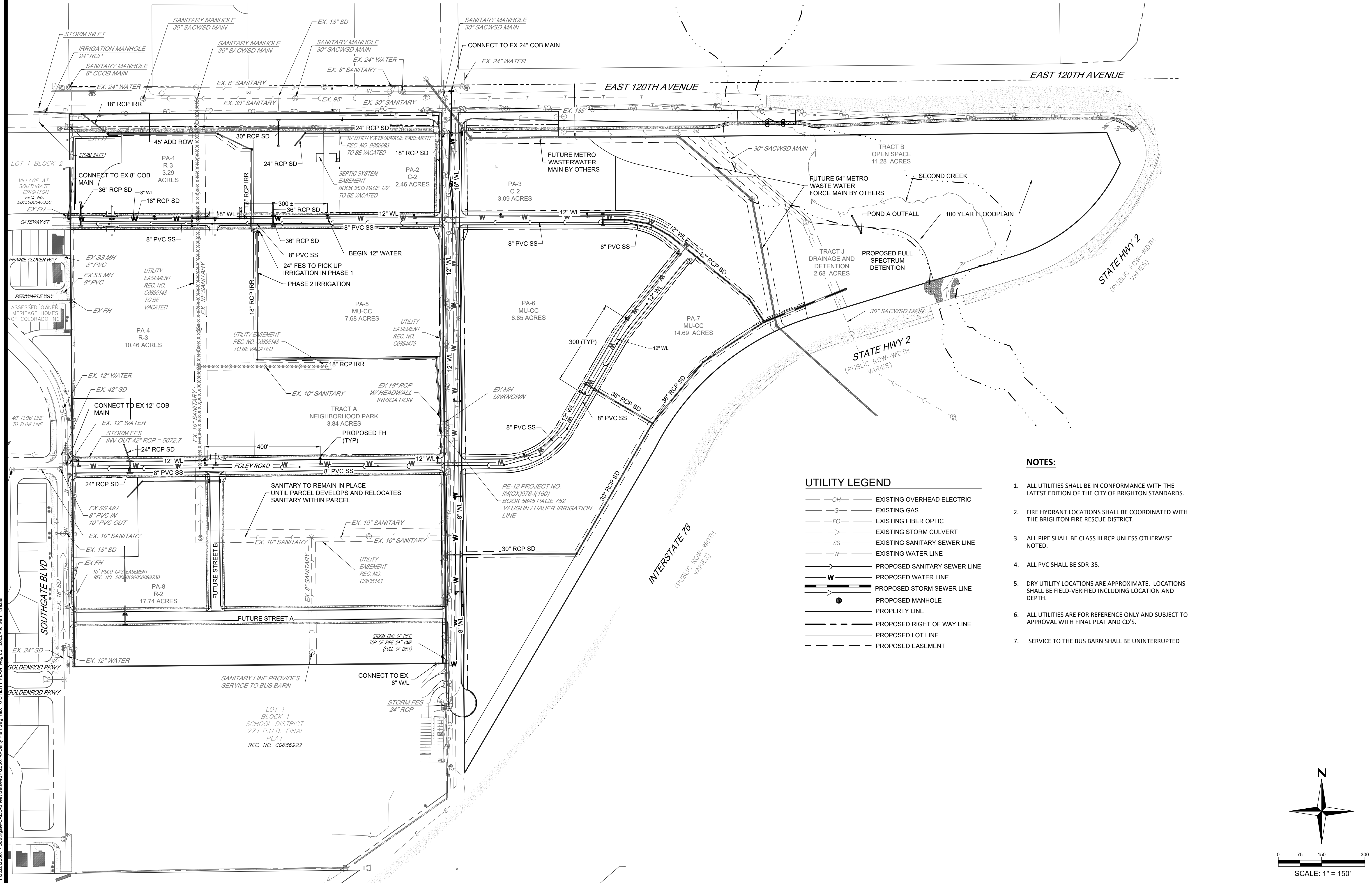
**SUBDIVISION PLAN
OF BRIGHTON RIDGE**

GRADING AND DRAINAGE PLAN

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SUBDIVISION PLAN OF BRIGHTON RIDGE

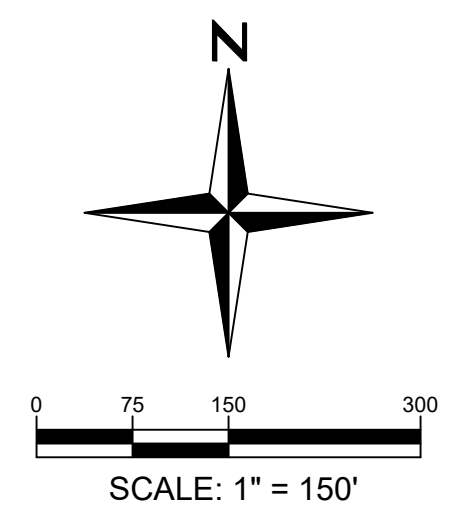
UTILITY PLAN



UTILITY LEGEND

— OH —	EXISTING OVERHEAD ELECTRIC
— G —	EXISTING GAS
— FO —	EXISTING FIBER OPTIC
— SC —	EXISTING STORM CULVERT
— SS —	EXISTING SANITARY SEWER LINE
— W —	EXISTING WATER LINE
— S —	PROPOSED SANITARY SEWER LINE
— W —	PROPOSED WATER LINE
— S —	PROPOSED STORM SEWER LINE
●	PROPOSED MANHOLE
— — —	PROPERTY LINE
— - - -	PROPOSED RIGHT OF WAY LINE
— · — · —	PROPOSED LOT LINE
- - - -	PROPOSED EASEMENT

- NOTES:**
1. ALL UTILITIES SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE CITY OF BRIGHTON STANDARDS.
 2. FIRE HYDRANT LOCATIONS SHALL BE COORDINATED WITH THE BRIGHTON FIRE RESCUE DISTRICT.
 3. ALL PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED.
 4. ALL PVC SHALL BE SDR-35.
 5. DRY UTILITY LOCATIONS ARE APPROXIMATE. LOCATIONS SHALL BE FIELD-VERIFIED INCLUDING LOCATION AND DEPTH.
 6. ALL UTILITIES ARE FOR REFERENCE ONLY AND SUBJECT TO APPROVAL WITH FINAL PLAT AND CD'S.
 7. SERVICE TO THE BUS BARN SHALL BE UNINTERRUPTED.



Redland
WHERE GREAT PLACES BEGIN

700 283 4783 Office
1500 West Canal Court
Littleton, Colorado 80120
REDLAND.COM

SUBDIVISION PLAN
OF BRIGHTON RIDGE

UTILITY PLAN

DATE	NO.	NOTES
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2022-07-22	8	TO CITY OF BRIGHTON
2022-08-03	9	SIGNATURE SET

DRAWN: AEV

CHECKED: SAM

APPROVED: SAM

PROJECT NO.: 2007

SCALE: HORIZ. SCALE

SCALE: VERT. SCALE

DATE: 2022-08-03

NO.: 9

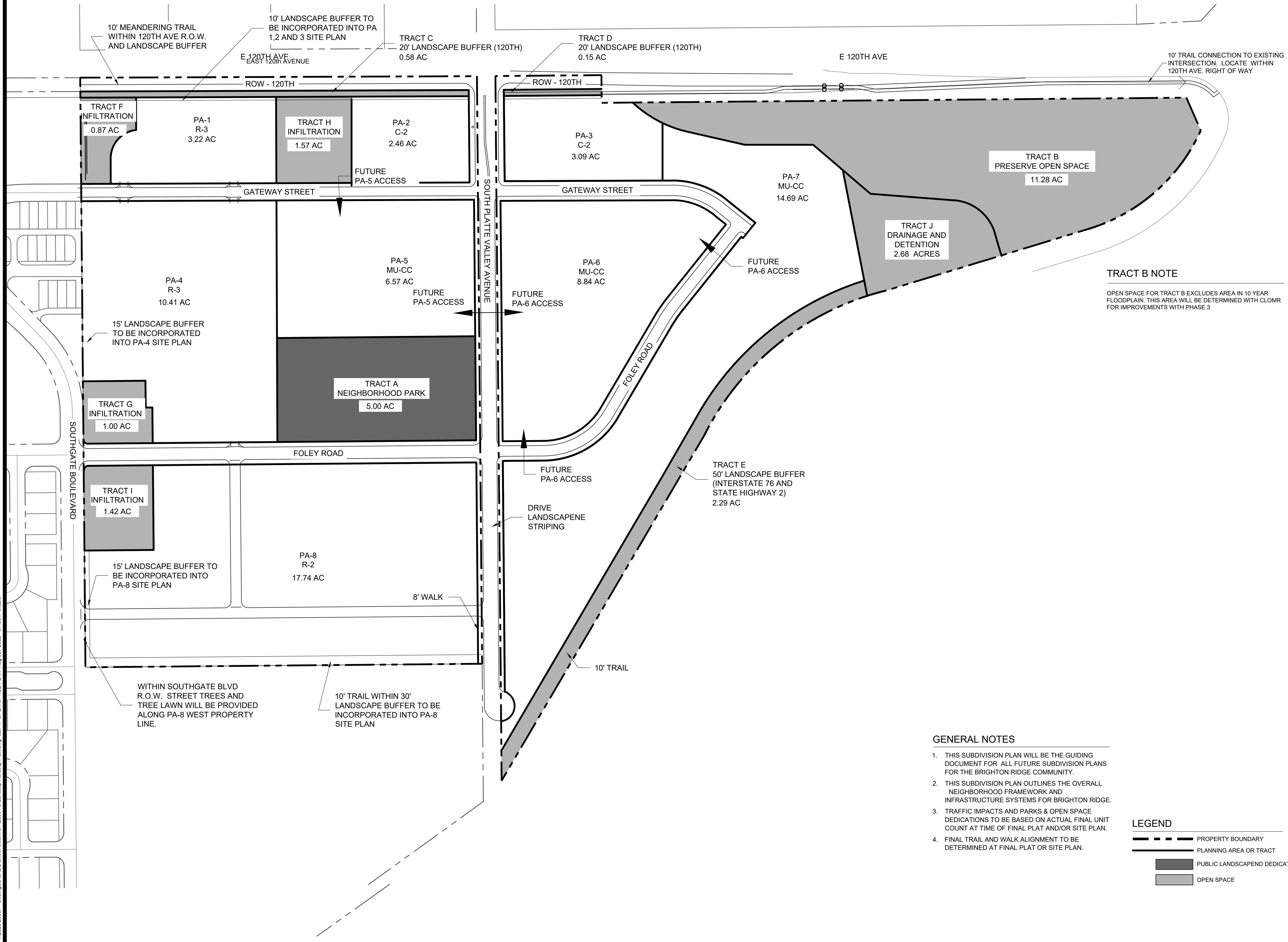
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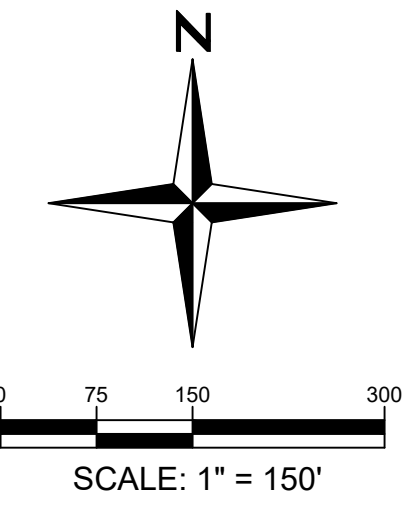
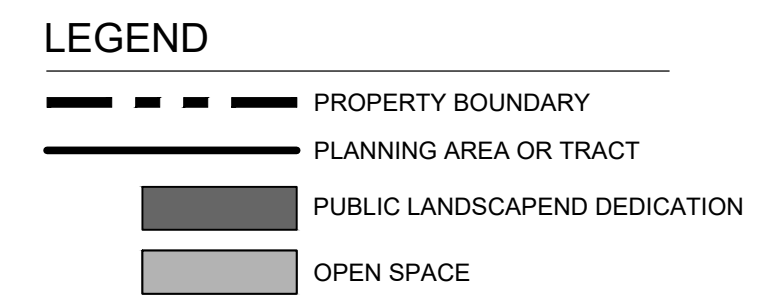
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SUBDIVISION PLAN OF BRIGHTON RIDGE



TRACT B NOTE
 OPEN SPACE FOR TRACT B EXCLUDES AREA IN 10 YEAR FLOODPLAIN. THIS AREA WILL BE DETERMINED WITH CLOMR FOR IMPROVEMENTS WITH PHASE 3

- GENERAL NOTES**
1. THIS SUBDIVISION PLAN WILL BE THE GUIDING DOCUMENT FOR ALL FUTURE SUBDIVISION PLANS FOR THE BRIGHTON RIDGE COMMUNITY.
 2. THIS SUBDIVISION PLAN OUTLINES THE OVERALL NEIGHBORHOOD FRAMEWORK AND INFRASTRUCTURE SYSTEMS FOR BRIGHTON RIDGE.
 3. TRAFFIC IMPACTS AND PARKS & OPEN SPACE DEDICATIONS TO BE BASED ON ACTUAL FINAL UNIT COUNT AT TIME OF FINAL PLAT AND/OR SITE PLAN.
 4. FINAL TRAIL AND WALK ALIGNMENT TO BE DETERMINED AT FINAL PLAT OR SITE PLAN.



DATE		NO.		TO CITY OF BRIGHTON		NOTES	
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2022-08-03	9	SIGNATURE SET					

SUBDIVISION PLAN OF BRIGHTON RIDGE

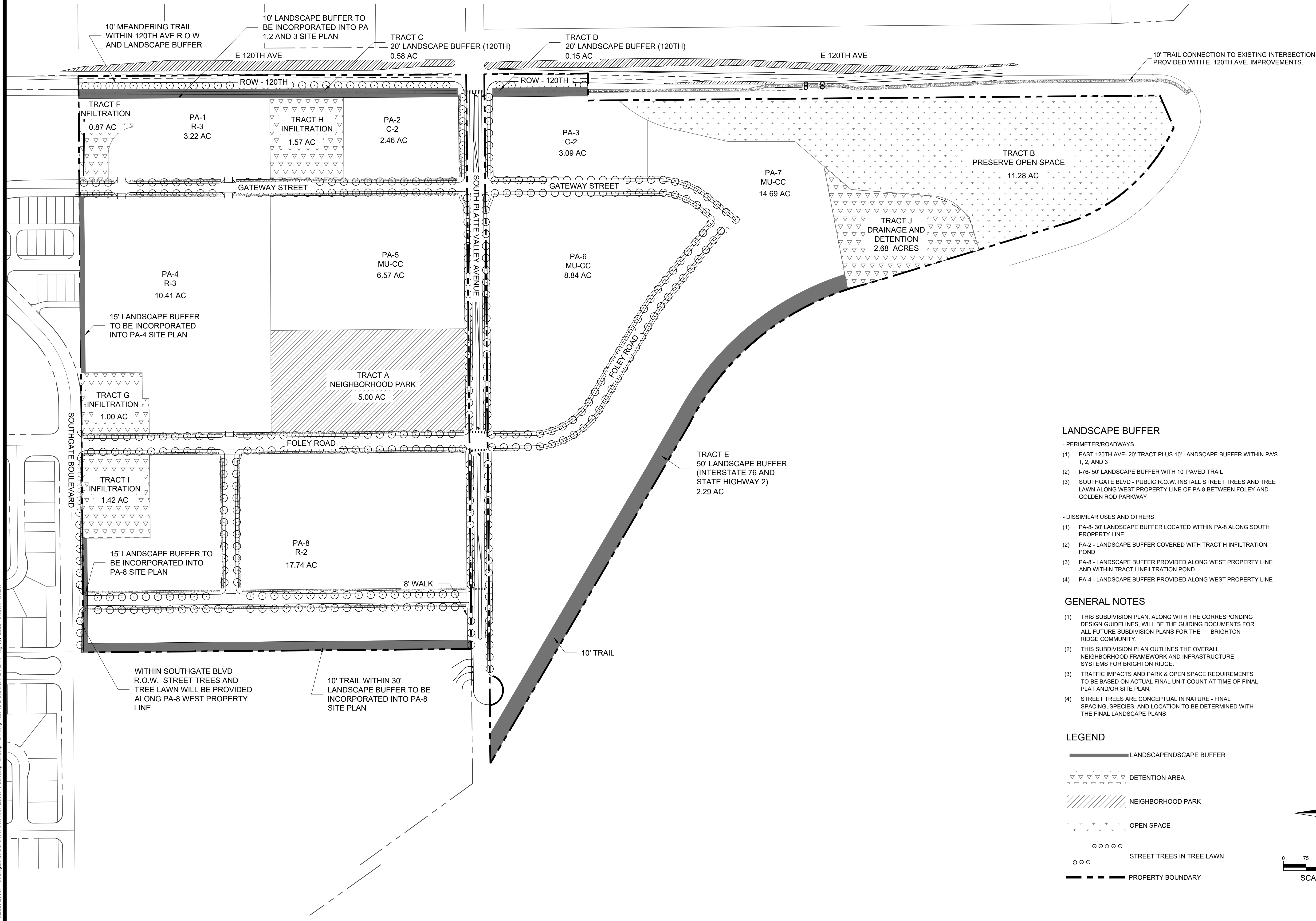
OPEN SPACE PLAN

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SUBDIVISION PLAN OF BRIGHTON RIDGE

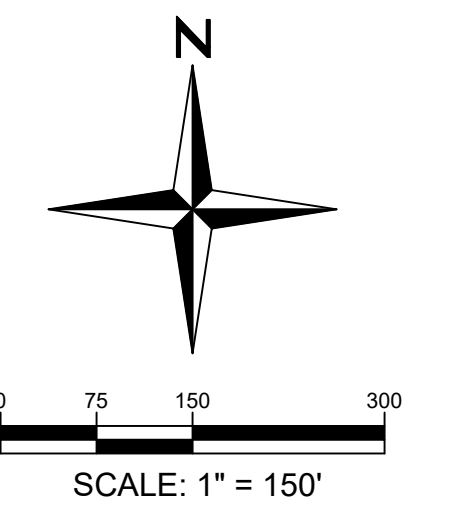
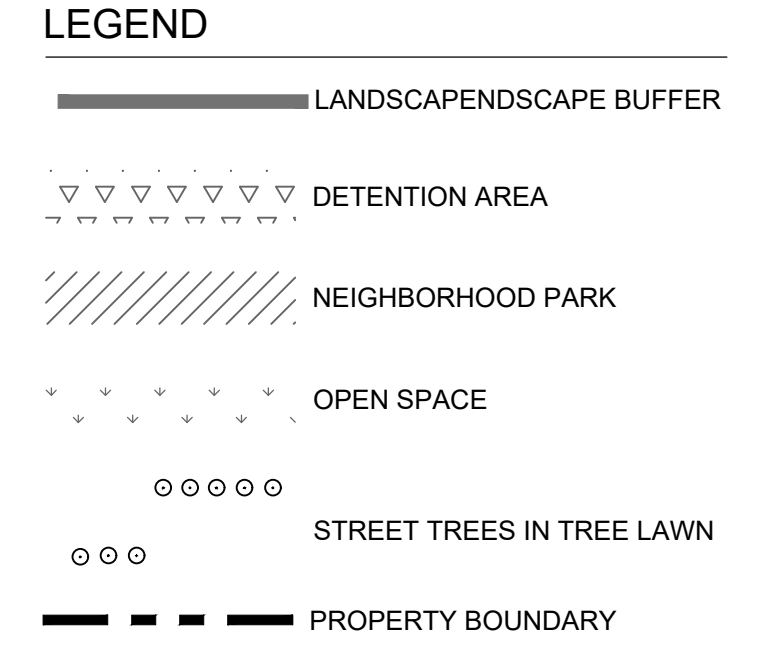


Redland
WHERE GREAT PLACES BEGIN
720 283 4783 Office
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Littleton, Colorado 80120
REDLAND.COM



- LANDSCAPE BUFFER**
- PERIMETER/ROADWAYS
 - (1) EAST 120TH AVE- 20' TRACT PLUS 10' LANDSCAPE BUFFER WITHIN PA'S 1, 2, AND 3
 - (2) I-76- 50' LANDSCAPE BUFFER WITH 10' PAVED TRAIL
 - (3) SOUTHGATE BLVD - PUBLIC R.O.W. INSTALL STREET TREES AND TREE LAWN ALONG WEST PROPERTY LINE OF PA-8 BETWEEN FOLEY AND GOLDEN ROD PARKWAY
- DISSIMILAR USES AND OTHERS
- (1) PA-8- 30' LANDSCAPE BUFFER LOCATED WITHIN PA-8 ALONG SOUTH PROPERTY LINE
 - (2) PA-2 - LANDSCAPE BUFFER COVERED WITH TRACT H INFILTRATION POND
 - (3) PA-8 - LANDSCAPE BUFFER PROVIDED ALONG WEST PROPERTY LINE AND WITHIN TRACT I INFILTRATION POND
 - (4) PA-4 - LANDSCAPE BUFFER PROVIDED ALONG WEST PROPERTY LINE

- GENERAL NOTES**
- (1) THIS SUBDIVISION PLAN, ALONG WITH THE CORRESPONDING DESIGN GUIDELINES, WILL BE THE GUIDING DOCUMENTS FOR ALL FUTURE SUBDIVISION PLANS FOR THE BRIGHTON RIDGE COMMUNITY.
 - (2) THIS SUBDIVISION PLAN OUTLINES THE OVERALL NEIGHBORHOOD FRAMEWORK AND INFRASTRUCTURE SYSTEMS FOR BRIGHTON RIDGE.
 - (3) TRAFFIC IMPACTS AND PARK & OPEN SPACE REQUIREMENTS TO BE BASED ON ACTUAL FINAL UNIT COUNT AT TIME OF FINAL PLAT AND/OR SITE PLAN.
 - (4) STREET TREES ARE CONCEPTUAL IN NATURE - FINAL SPACING, SPECIES, AND LOCATION TO BE DETERMINED WITH THE FINAL LANDSCAPE PLANS



DATE	NO.	DESCRIPTION	BY	FOR
2021-07-15	2	TO CITY OF BRIGHTON		
2021-08-17	3	TO CITY OF BRIGHTON		
2022-01-17	4	TO CITY OF BRIGHTON		
2022-03-08	5	TO CITY OF BRIGHTON		
2022-03-23	6	TO CITY OF BRIGHTON		
2022-05-23	7	TO CITY OF BRIGHTON		
2022-07-11	8	TO CITY OF BRIGHTON		
2022-07-22	9	TO CITY OF BRIGHTON		
2022-08-03	9	SIGNATURE SET		

SUBDIVISION PLAN OF BRIGHTON RIDGE

LANDSCAPE PLAN

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