

# PLANNED DEVELOPMENT OF MOUNTAIN VIEW ESTATES

## LEGAL DESCRIPTION

LEGAL DESCRIPTION AND DEDICATION FILING NO.1:  
 KNOW ALL MEN BY THESE PRESENTS THAT AMREPCO INC., BEING THE OWNER OF THAT PART OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 66 WEST OF THE 61H PRINCIPAL MERIDIAN, CITY OF BRIGHTON, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 4, WHENCE THE SOUTH QUARTER CORNER OF SAID SECTION 4 BEARS SOUTH 00°20'24" WEST A DISTANCE OF 2630.18 FEET, SAID LINE FORMING THE BASIS OF BEARINGS FOR THIS DESCRIPTION; THENCE SOUTH 00°20'24" WEST ALONG THE WESTERLY LINE OF SAID SOUTHWEST QUARTER A DISTANCE OF 100.51 FEET; THENCE NORTH 89°39'36" WEST A DISTANCE OF 69.50 FEET TO THE WESTERLY LINE OF TELLURIDE STREET AND THE POINT OF BEGINNING; THENCE ALONG SAID WESTERLY LINE OF TELLURIDE STREET THE FOLLOWING EIGHT (8) COURSES:

1. SOUTH 00°20'24" WEST ALONG A LINE TANGENT WITH THE FOLLOWING DESCRIBED CURVE A DISTANCE OF 923.55 FEET;
2. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 30.00 FEET, AN ARC DISTANCE OF 47.12 FEET, AND A CHORD BEARING SOUTH 45°20'24" WEST A DISTANCE OF 42.43 FEET;
3. THENCE SOUTH 00°20'24" WEST ALONG A LINE RADIAL TO THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 73.00 FEET;
4. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 30.00 FEET, AN ARC DISTANCE OF 47.12 FEET, AND A CHORD BEARING SOUTH 44°39'36" EAST A DISTANCE OF 42.43 FEET;
5. THENCE SOUTH 00°20'24" WEST ALONG A LINE TANGENT WITH THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 713.83 FEET;
6. THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 12°08'14", A RADIUS OF 378 FEET, AN ARC DISTANCE OF 80.07 FEET, AND A CHORD BEARING SOUTH 05°43'43" EAST A DISTANCE OF 79.92 FEET TO A POINT OF REVERSE CURVE;
7. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 89°43'44", A RADIUS OF 33.00 FEET, AN ARC DISTANCE OF 51.68 FEET, AND A CHORD BEARING SOUTH 33°04'03" WEST A DISTANCE OF 46.56 FEET;
8. THENCE SOUTH 12°03'46" EAST A DISTANCE OF 50.00 FEET; THENCE SOUTH 00°20'24" WEST A DISTANCE OF 151.84 FEET; THENCE NORTH 89°39'36" WEST A DISTANCE OF 701.66 FEET TO THE CENTERLINE OF THE BRIGHTON LATERAL DITCH;

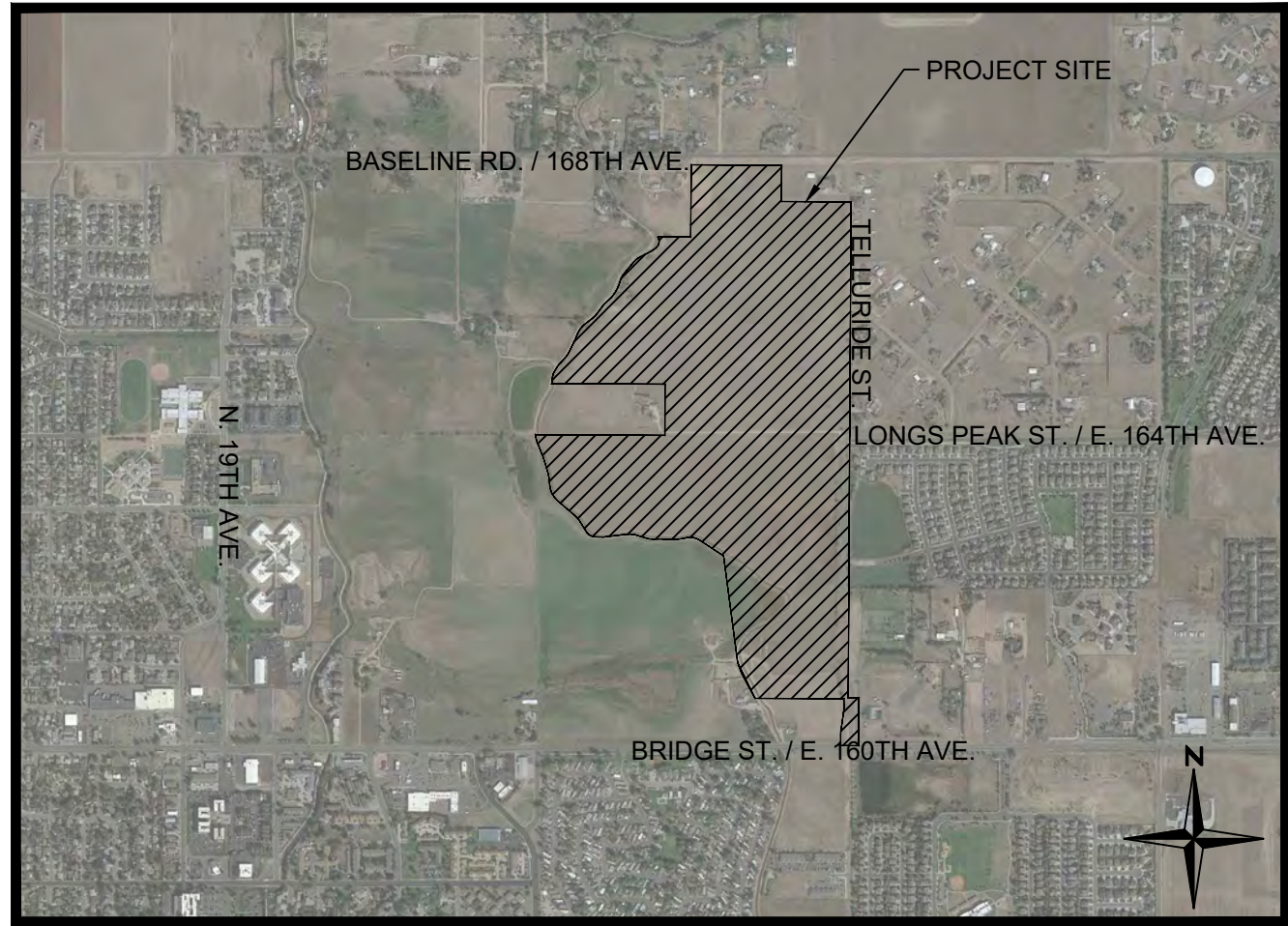
THENCE ALONG SAID CENTERLINE THE FOLLOWING THREE (3) COURSES:

1. NORTH 27°54'52" WEST A DISTANCE OF 243.51 FEET;
2. THENCE NORTH 19°22'15" WEST ALONG A LINE TANGENT WITH THE FOLLOWING DESCRIBED CURVE A DISTANCE OF 80.03 FEET;
3. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 11°55'27", A RADIUS OF 160.00 FEET, AN ARC DISTANCE OF 33.30 FEET, AND A CHORD BEARING NORTH 13°24'31" WEST A DISTANCE OF 33.24 FEET; THENCE NORTH 07°26' 48" WEST A DISTANCE OF 872.43 FEET TO SAID CENTERLINE OF THE BRIGHTON LATERAL DITCH;

THENCE ALONG SAID CENTERLINE THE FOLLOWING TWENTY (20) COURSES:

1. NORTH 56°29'15" WEST ALONG A LINE TANGENT WITH THE FOLLOWING DESCRIBED CURVE A DISTANCE OF 236.35 FEET;
2. THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 47°16'24", A RADIUS OF 150.00 FEET, AN ARC DISTANCE OF 123.76 FEET, A CHORD BEARING NORTH 80°07'27" WEST A DISTANCE OF 120.28 FEET TO A POINT OF REVERSE CURVE;
3. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 15°44'38", A RADIUS OF 444.27 FEET, AN ARC DISTANCE OF 122.08 FEET, A CHORD BEARING SOUTH 84°06'40" WEST A DISTANCE OF 121.69 FEET;
4. THENCE NORTH 88°01'01" WEST ALONG A LINE TANGENT WITH THE PREVIOUSLY DESCRIBED CURVE A DISTANCE OF 78.74 FEET;
5. THENCE SOUTH 89°22'47" WEST ALONG A LINE TANGENT WITH THE FOLLOWING DESCRIBED CURVE A DISTANCE OF 79.80 FEET;
6. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 18°18'58", A RADIUS OF 155.00 FEET, AN ARC DISTANCE OF 49.55 FEET, A CHORD BEARING NORTH 81°27'44" WEST A DISTANCE OF 49.34 FEET;
7. THENCE NORTH 72°18'15" WEST ALONG A LINE TANGENT WITH THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 79.59 FEET;
8. THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 24°14'42", A RADIUS OF 210.00 FEET, AN ARC DISTANCE OF 88.86 FEET, A CHORD BEARING NORTH 84°25'36" WEST A DISTANCE OF 88.20 FEET;
9. THENCE SOUTH 83°27'03" WEST ALONG A LINE TANGENT WITH THE PREVIOUSLY DESCRIBED CURVE A DISTANCE OF 202.77 FEET;
10. THENCE NORTH 88°09'21" WEST ALONG A LINE TANGENT WITH THE FOLLOWING DESCRIBED CURVE A DISTANCE OF 60.60 FEET;
11. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 56°38'30", A RADIUS OF 95.00 FEET, AN ARC DISTANCE OF 93.92 FEET, A CHORD BEARING NORTH 59°50'06" WEST A DISTANCE 90.14 FEET;
12. THENCE NORTH 31° 30'51" WEST ALONG A LINE TANGENT WITH THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 86.84 FEET;
13. THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 17°34'48", A RADIUS OF 260.00 FEET, AN ARC DISTANCE OF 79.78 FEET, A CHORD BEARING NORTH 40°8'15" WEST A DISTANCE OF 79.46 FEET;
14. THENCE NORTH 49°05'39" WEST ALONG A LINE TANGENT WITH THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 187. 76 FEET;
15. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 43°12'37", A RADIUS OF 190.00 FEET, AN ARC DISTANCE OF 143.29 FEET, A CHORD BEARING NORTH 27°29'20" WEST A DISTANCE OF 139.92 FEET;
16. THENCE NORTH 05°53'02" WEST ALONG A LINE TANGENT WITH THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 64.15 FEET;
17. THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 101°11'12", A RADIUS OF 225.00 FEET, AN ARC DISTANCE OF 40.00 FEET, A CHORD BEARING NORTH 10°58'38" WEST A DISTANCE OF 39.95 FEET;
18. THENCE NORTH 16°04'14" WEST ALONG A LINE TANGENT WITH THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 99.97 FEET;
19. THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 05°36'32", A RADIUS OF 410.00 FEET, AN ARC DISTANCE OF 40.14 FEET, A CHORD BEARING NORTH 18°52'30" WEST A DISTANCE OF 40.12 FEET;
20. THENCE NORTH 21°40'46" WEST ALONG A LINE TANGENT WITH THE PREVIOUSLY DESCRIBED CURVE A DISTANCE OF 50. 39 FEET; THENCE NORTH 00°27'35" EAST ALONG A LINE TANGENT WITH THE FOLLOWING DESCRIBED CURVE A DISTANCE OF 41.70 FEET TO THE SOUTHERLY LINE OF EAST LONGS PEAK STREET; THENCE ALONG SAID SOUTHERLY LINE OF EAST LONGS PEAK STREET THE FOLLOWING ELEVEN (11) COURSES:

1. ALONG THE ARC OF A CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 89°52'21", A RADIUS OF 30.00 FEET, AN ARC DISTANCE OF 47.06 FEET, AND A CHORD BEARING NORTH 45°23' 46" EAST A DISTANCE OF 42.38 FEET;
2. THENCE SOUTH 89°40'04" EAST ALONG A LINE TANGENT WITH THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 537.20 FEET;
3. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 30.00 FEET, AN ARC DISTANCE OF 47.12 FEET, AND A CHORD BEARING SOUTH 44°40'04" EAST A DISTANCE OF 42.43 FEET;
4. THENCE SOUTH 89°40'04" EAST ALONG A LINE RADIAL TO THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 50. 00 FEET;



VICINITY MAP  
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## LEGAL DESCRIPTION CONTINUED

5. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 30.00 FEET, AN ARC DISTANCE OF 47.12 FEET, AND A CHORD BEARING NORTH 45°19'56" EAST A DISTANCE OF 42.43 FEET;
6. THENCE SOUTH 89°40'04" EAST ALONG A LINE TANGENT WITH THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 1092.14 FEET;
7. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 30.00 FEET, AN ARC DISTANCE OF 47.12 FEET, AND A CHORD BEARING SOUTH 44°40'04" EAST A DISTANCE OF 42.43 FEET;
8. THENCE SOUTH 89°40'04" EAST ALONG A LINE RADIAL TO THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 73.00 FEET;
9. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 30.00 FEET, AN ARC DISTANCE OF 47.12 FEET, AND A CHORD BEARING NORTH 45°19'56" EAST A DISTANCE OF 42.43 FEET;
10. THENCE SOUTH 89°40'04" EAST ALONG A LINE TANGENT WITH THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 572.90 FEET;
11. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 90°00'28", A RADIUS OF 30.00 FEET, AN ARC DISTANCE OF 47.13 FEET, AND A CHORD BEARING SOUTH 44°39'50" EAST A DISTANCE OF 42.43 FEET TO THE POINT OF BEGINNING.

CONTAINING 3,045,236 SQUARE FEET OR 69.909 ACRES.

LEGAL DESCRIPTION AND DEDICATION FILING NO.2:

KNOW ALL MEN BY THESE PRESENTS THAT AMREPCO INC., BEING THE OWNER OF THAT PART OF THE WEST HALF OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF BRIGHTON, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE CENTER QUARTER CORNER OF SAID SECTION 4, WHENCE THE SOUTH QUARTER CORNER OF SAID SECTION 4 BEARS SOUTH 00°20'24" WEST A DISTANCE OF 2630.18 FEET, SAID LINE FORMING THE BASIS OF BEARINGS FOR THIS DESCRIPTION;

THENCE SOUTH 00°20'24" WEST ALONG THE EASTERLY LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 4 A DISTANCE OF 2180.18 FEET;

THENCE SOUTH 89°31'16" EAST A DISTANCE OF 90.81 FEET;

THENCE SOUTH 00°17'11" WEST A DISTANCE OF 400.00 FEET TO THE NORTHERLY LINE OF BRIDGE STREET;

THENCE NORTH 89°31'16" WEST ALONG SAID NORTHERLY LINE OF BRIDGE STREET A DISTANCE OF 91.18 FEET;

THENCE NORTH 89°30'58" WEST CONTINUING ALONG SAID NORTHERLY LINE OF BRIDGE STREET A DISTANCE OF 60.00 FEET;

THENCE NORTH 00°20'24" EAST A DISTANCE OF 99.91 FEET;

THENCE ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 08°06'29", A RADIUS OF 235.00 FEET, AN ARC LENGTH OF 33.26 FEET, AND A CHORD BEARING NORTH 04°23'39" EAST A DISTANCE OF 33.23 FEET;

THENCE NORTH 08°23'18" EAST A DISTANCE OF 150.00 FEET;

THENCE ALONG SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 08°06'29", A RADIUS OF 165.00 FEET, AN ARC LENGTH OF 23.35 FEET, AND A CHORD BEARING NORTH 04°23'39" EAST A DISTANCE OF 23.33 FEET;

THENCE NORTH 00°20'24" EAST A DISTANCE OF 84.98 FEET;

THENCE NORTH 89°39'36" WEST A DISTANCE OF 40.48 FEET;

THENCE NORTH 00°20'24" EAST A DISTANCE OF 151.84 FEET;

THENCE NORTH 12°03'46" WEST A DISTANCE OF 50.00 FEET;

THENCE ALONG SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 89°43'44", A RADIUS OF 33.00 FEET, AN ARC LENGTH OF 51.68 FEET, AND A CHORD BEARING NORTH 33°04'03" EAST A DISTANCE OF 46.56 FEET;

THENCE ALONG SAID CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 12°08'14", A RADIUS OF 378.00 FEET, AN ARC LENGTH OF 80.07 FEET, AND A CHORD BEARING NORTH 05°43'43" WEST A DISTANCE OF 79.92 FEET;

THENCE NORTH 00°20'24" EAST A DISTANCE OF 713.83 FEET;

THENCE ALONG SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 47.12 FEET, AND A CHORD BEARING NORTH 44°39'36" WEST A DISTANCE OF 42.43 FEET;

THENCE NORTH 00°20'24" EAST A DISTANCE OF 73.00 FEET;

THENCE ALONG SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 47.12 FEET, AND A CHORD BEARING NORTH 45°20'24" EAST A DISTANCE OF 42.43 FEET;

THENCE NORTH 00°20'24" EAST A DISTANCE OF 923.55 FEET;

THENCE ALONG SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 90°00'28", A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 47.13 FEET, AND A CHORD BEARING NORTH 44°39'50" WEST A DISTANCE OF 42.43 FEET;

THENCE NORTH 89°40'04" WEST A DISTANCE OF 572.90 FEET;

THENCE ALONG SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 47.12 FEET, AND A CHORD BEARING SOUTH 45°19'56" WEST A DISTANCE OF 42.43 FEET;

(LEGAL DESCRIPTION CONTINUED ON SHEET 2)

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## CITY APPROVAL

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF BRIGHTON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

By: \_\_\_\_\_  
MAYOR

ATTEST  
By: \_\_\_\_\_  
CITY CLERK

## CERTIFICATE OF OWNERSHIP

WE THE UNDERSIGNED, BEING THE OWNER(S) AND/OR DEVELOPER(S) OF THE LAND HEREIN DESCRIBED LOCATED IN THE CITY OF BRIGHTON, COUNTY OF ADAMS, STATE OF COLORADO, HEREBY SUBMIT THIS PLAN AND AGREE TO PERFORM UNDER THE TERMS NOTED HEREON.

OWNER: AMREPCO, INC.

BY: JARROD LIKAR

## PROJECT TEAM

**OWNER**  
AMREPCO, INC.  
333 RIO RANCHO DRIVE, SUITE 202  
RIO RANCHO, NM 87124  
(505) 896-9037  
CONTACT: JARROD LIKAR

**ENGINEER**  
CVL CONSULTANTS  
10333 E. DRY CREEK ROAD, SUITE 240  
ENGLEWOOD, COLORADO 80112  
(720) 482-9526  
CONTACT: MELINDA LUNDQUIST

**PLANNER**  
REDLAND  
1500 WEST CANAL COURT  
LITTLETON, CO. 80120  
(720) 283-6783  
CONTACT: SUSAN WADE

**PLANNED DEVELOPMENT PLAN FOR MOUNTAIN VIEW ESTATES**  
A PORTION OF THE SW 1 / 4 OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 66 WEST OF THE 6th PRINCIPAL MERIDIAN, AND A PORTION OF THE WEST HALF OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 66 WEST OF THE 6th PRINCIPAL MERIDIAN, CITY OF BRIGHTON, COUNTY OF ADAMS, STATE OF COLORADO  
PREPARED 04/27/2021



DATE	04/27/2021
DRAWN	JNK
CHECKED	SMW
APPROVED	SMW
PROJECT NO.	20034
HORZ. SCALE	
VERT. SCALE	

REVISION	NO.	DATE
1st Submittal	1	04.27.2021
2nd Submittal	2	07.19.2021
3rd Submittal	3	08.24.2021
4th Submittal	4	10.12.2021
5th Submittal	5	11.19.2021
6th Submittal	6	12.03.2021

**MOUNTAIN VIEW ESTATES**  
**PLANNED DEVELOPMENT**  
**COVER**

**LEGAL DESCRIPTION CONT.**

LEGAL DESCRIPTION AND DEDICATION (CONTINUED):

THENCE NORTH 89°40'04" WEST A DISTANCE OF 73.00 FEET;  
 THENCE ALONG SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 47.12 FEET, AND A CHORD BEARING NORTH 44°40'04" WEST A DISTANCE OF 42.43 FEET;  
 THENCE NORTH 89°40'04" WEST A DISTANCE OF 1092.14 FEET;  
 THENCE ALONG SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 47.12 FEET, AND A CHORD BEARING SOUTH 45°19'56" WEST A DISTANCE OF 42.43 FEET;  
 THENCE NORTH 89°40'04" WEST A DISTANCE OF 50.00 FEET;  
 THENCE ALONG SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 47.12 FEET, AND A CHORD BEARING NORTH 44°40'04" WEST A DISTANCE OF 42.43 FEET;  
 THENCE NORTH 89°40'04" WEST A DISTANCE OF 537.20 FEET;  
 THENCE ALONG SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 89°52'21", A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 47.06 FEET, AND A CHORD BEARING SOUTH 45°23'46" WEST A DISTANCE OF 42.38 FEET;  
 THENCE NORTH 89°40'04" WEST A DISTANCE OF 537.20 FEET;  
 THENCE ALONG SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 89°52'21", A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 47.06 FEET, AND A CHORD BEARING SOUTH 45°23'46" WEST A DISTANCE OF 42.38 FEET;  
 THENCE SOUTH 00°27'35" WEST A DISTANCE OF 41.70 FEET;  
 THENCE NORTH 21°40'46" WEST A DISTANCE OF 85.35 FEET;  
 THENCE ALONG SAID CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 15°42'44", A RADIUS OF 180.00 FEET, AN ARC LENGTH OF 49.36 FEET, AND A CHORD BEARING NORTH 13°49'24" WEST A DISTANCE OF 49.21 FEET;  
 THENCE NORTH 05°58'02" WEST A DISTANCE OF 15.38 FEET;  
 THENCE SOUTH 89°40'04" EAST A DISTANCE OF 1078.00 FEET;  
 THENCE NORTH 00°19'56" EAST A DISTANCE OF 427.00 FEET;  
 THENCE NORTH 89°40'04" WEST A DISTANCE OF 945.98 FEET TO THE CENTERLINE OF THE BRIGHTON LATERAL DITCH;  
 THENCE ALONG SAID CENTERLINE OF THE BRIGHTON LATERAL DITCH THE FOLLOWING TWENTY-THREE (23) COURSES:  
 NORTH 07°18'30" EAST ALONG A LINE TANGENT WITH THE FOLLOWING DESCRIBED CURVE A DISTANCE OF 58.21 FEET;  
 THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 24°44'13", A RADIUS OF 115.00 FEET, AN ARC DISTANCE OF 49.65 FEET, A CHORD BEARING OF NORTH 19°40'37" EAST A DISTANCE OF 49.27 FEET;  
 THENCE NORTH 32°02'43" EAST ALONG A LINE TANGENT WITH THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 40.92 FEET;  
 THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 11°40'21", A RADIUS OF 195.00 FEET, AN ARC DISTANCE OF 39.73 FEET, A CHORD BEARING OF NORTH 37°52'54" EAST A DISTANCE OF 39.66 FEET;  
 THENCE NORTH 43°43'04" EAST ALONG A LINE TANGENT WITH THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 47.89 FEET;  
 THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 17°59'13", A RADIUS OF 253.00 FEET, AN ARC DISTANCE OF 79.42 FEET, A CHORD BEARING OF NORTH 34°43'28" EAST A DISTANCE OF 79.10 FEET;  
 THENCE NORTH 25°43'51" EAST ALONG A LINE TANGENT WITH THE PREVIOUSLY DESCRIBED CURVE A DISTANCE OF 97.26 FEET;  
 THENCE NORTH 23°46'13" EAST ALONG A LINE TANGENT WITH THE FOLLOWING DESCRIBED CURVE A DISTANCE OF 66.84 FEET;  
 THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 29°35'52", A RADIUS OF 210.00 FEET, AN ARC DISTANCE OF 108.48 FEET, A CHORD BEARING OF NORTH 38°34'09" EAST A DISTANCE OF 107.28 FEET;  
 THENCE NORTH 53°22'05" EAST ALONG A LINE TANGENT WITH THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 60.97 FEET;  
 THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 16°17'56", A RADIUS OF 210.00 FEET, AN ARC DISTANCE OF 59.74 FEET, A CHORD BEARING OF NORTH 45°13'07" EAST A DISTANCE OF 59.54 FEET;  
 12. THENCE NORTH 37°04'09" EAST ALONG A LINE TANGENT WITH THE PREVIOUSLY DESCRIBED CURVE A DISTANCE OF 100.58 FEET;  
 THENCE NORTH 47°03'57" EAST ALONG A LINE TANGENT WITH THE FOLLOWING DESCRIBED CURVE A DISTANCE OF 62.51 FEET;  
 THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 28°06'46", A RADIUS OF 300.00 FEET, AN ARC DISTANCE OF 147.20 FEET, A CHORD BEARING OF NORTH 33°00'34" EAST A DISTANCE OF 145.73 FEET;  
 THENCE NORTH 18°57'11" EAST ALONG A LINE TANGENT WITH THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 46.52 FEET;  
 THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 16°38'12", A RADIUS OF 135.00 FEET, AN ARC DISTANCE OF 39.20 FEET, A CHORD BEARING OF NORTH 27°16'17" EAST A DISTANCE OF 39.06 FEET TO A POINT OF COMPOUND CURVE;  
 THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 04°30'24", A RADIUS OF 358.34 FEET, AN ARC DISTANCE OF 28.19 FEET, A CHORD BEARING OF NORTH 37°50'35" EAST A DISTANCE OF 28.18 FEET;  
 THENCE NORTH 40°05'47" EAST ALONG A LINE TANGENT WITH THE PREVIOUSLY AND FOLLOWING DESCRIBED CURVES A DISTANCE OF 116.69 FEET;  
 THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 23°13'35", A RADIUS OF 170.00 FEET, AN ARC DISTANCE OF 68.91 FEET, A CHORD BEARING OF NORTH 51°42'35" EAST A DISTANCE OF 68.44 FEET;  
 THENCE NORTH 63°19'22" EAST ALONG A LINE TANGENT WITH THE PREVIOUSLY DESCRIBED CURVE A DISTANCE OF 96.17 FEET;  
 THENCE NORTH 55°30'20" EAST ALONG A LINE TANGENT WITH THE FOLLOWING DESCRIBED CURVE A DISTANCE OF 39.43 FEET;  
 THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 15°05'24", A RADIUS OF 105.00 FEET, AN ARC DISTANCE OF 27.65 FEET, A CHORD BEARING OF NORTH 47°57'38" EAST A DISTANCE OF 27.57 FEET TO A POINT OF COMPOUND CURVE;  
 THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 71°46'11", A RADIUS OF 71.00 FEET, AN ARC DISTANCE OF 88.94 FEET, A CHORD BEARING OF NORTH 04°31'51" EAST A DISTANCE OF 83.23 FEET;  
 THENCE SOUTH 89°30'25" EAST A DISTANCE OF 273.24 FEET;  
 THENCE NORTH 00°29'35" EAST A DISTANCE OF 603.62 FEET;  
 THENCE SOUTH 89°30'25" EAST ALONG A LINE PARALLEL WITH AND 75.00 FEET SOUTHERLY OF THE NORTHERLY LINE OF SAID NORTHWEST QUARTER OF SECTION 4 A DISTANCE OF 754.74 FEET;  
 THENCE SOUTH 00°21'00" WEST ALONG A LINE PARALLEL WITH AND 580.80 FEET WESTERLY OF THE EASTERLY LINE OF SAID NORTHWEST QUARTER A DISTANCE OF 300.00 FEET;  
 THENCE SOUTH 89°30'25" EAST ALONG A LINE PARALLEL WITH AND 375.00 FEET SOUTHERLY OF THE NORTHERLY LINE OF SAID NORTHWEST QUARTER A DISTANCE OF 580.80 FEET TO SAID EASTERLY LINE OF THE NORTHWEST QUARTER OF SECTION 4;  
 THENCE SOUTH 00°21'00" WEST ALONG SAID EASTERLY LINE A DISTANCE OF 1956.57 FEET TO THE POINT OF BEGINNING.

PARCEL CONTAINS 4,252,966 SQUARE FEET OR 97.635 ACRES MORE OR LESS.

SITE DATA				
USE / ZONE	LOT TYPE	LOT WIDTH	QUANTITY	ACREAGE
Residential	Single Family Detached - Front Loaded (Potential 54 SFA Lots)	40'	73	73.804
		50'	17	
		60'	38	
		70'	85	
	Single Family Detached - Alley Loaded (Potential 30 SFA Lots)	80'	49	
		50'	48	
		70'	94	
		80'	6	
Open Space	-	-	-	32.883
Park	-	-	-	12.884
ROW	-	-	-	35.438
Oil & Gas	-	-	-	2.561
School Site	-	-	-	10.001
		Total	<b>410</b>	<b>167.571</b>

MOUNTAIN VIEW ESTATES SUBDIVISON, FILING NO.1				
TRACT TABLE				
TRACT	AREA (ACRES)	USE	OWNERSHIP	MAINTAINED BY
A	19.059	DRAINAGE, UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
B	0.101	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
C	0.096	UTILITY & OPEN SPACE	H.O.A.	H.O.A.
D	3.946	DRAINAGE, UTILITY, LANDSCAPE & PARK	CITY OF BRIGHTON	CITY OF BRIGHTON
E	0.142	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
F	0.072	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
G	0.091	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
H	2.581	DRAINAGE, UTILITY & LANDSCAPE	H.O.A.	H.O.A.
I	-	THIS TRACT WAS DELETED	N/A	N/A
J	0.149	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
K	0.164	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
L	0.007	LANDSCAPE	H.O.A.	H.O.A.
M	-	THIS TRACT DESIGNATION WAS NOT USED	N/A	N/A
N	0.027	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
O	0.027	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
P	0.027	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
Q	0.027	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
R	0.027	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
S	0.007	DRAINAGE, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
T	0.13	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
U	0.027	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
V	-	THIS TRACT WAS DELETED	N/A	N/A
W	0.027	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
X	-	THIS TRACT WAS DELETED	N/A	N/A
Y	0.151	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
Z	0.131	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
AA	-	THIS TRACT WAS DELETED		
BB	0.059	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.

MOUNTAIN VIEW ESTATES SUBDIVISON, FILING NO.2				
TRACT TABLE				
TRACT	AREA (ACRES)	USE	OWNERSHIP	MAINTAINED BY
A	0.018	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
B	0.606	DRAINAGE, UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
C	0.027	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
D	0.027	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
E	0.027	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
F	1.815	DRAINAGE, UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
G	0.027	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
H	0.104	DRAINAGE, UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
I	0.076	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
J	0.081	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
K	0.419	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
L	0.027	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
M	0.179	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
N	0.164	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
O	0.013	LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
P	0.15	DRAINAGE, UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
Q	0.133	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
R	0.425	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
S	0.104	LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
T	0.027	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
U	0.027	LANDSCAPE, UTILITY & DRAINAGE	H.O.A.	H.O.A.
V	4.462	DRAINAGE, UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	CITY OF BRIGHTON / H.O.A.
W	10.001	SCHOOL	SCHOOL DISTRICT	SCHOOL DISTRICT
X	4.677	DRAINAGE, UTILITY, PARK, LANDS. & OPEN SPACE	CITY OF BRIGHTON	CITY OF BRIGHTON / H.O.A.
Y	2.561	LANDSCAPE & OPEN SPACE (OIL & GAS)	H.O.A.	H.O.A.
Z	0.081	LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
AA	0.387	DRAINAGE, UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
BB	4.19	DRAINAGE, UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
CC	0.006	LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
DD	0.302	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
EE	0.004	DRAINAGE, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
FF	0.251	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
GG	0.514	UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
HH	0.377	DRAINAGE, UTILITY, LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.
II	-	THIS TRACT DESIGNATION WAS NOT USED	N/A	N/A
JJ	0.135	LANDSCAPE & OPEN SPACE	H.O.A.	H.O.A.

**NOTES:**

1. ANY TRACTS LISTED AS "MAINTAINED BY H.O.A." MAY ALSO BE MAINTAINED BY A METRO DISTRICT IF ONE IS FORMED AT A LATER DATE.



DATE	NO.	REVISION
04/27/2021	1	1st Submittal
	2	2nd Submittal
	3	3rd Submittal
	4	4th Submittal
	5	5th Submittal
	6	6th Submittal

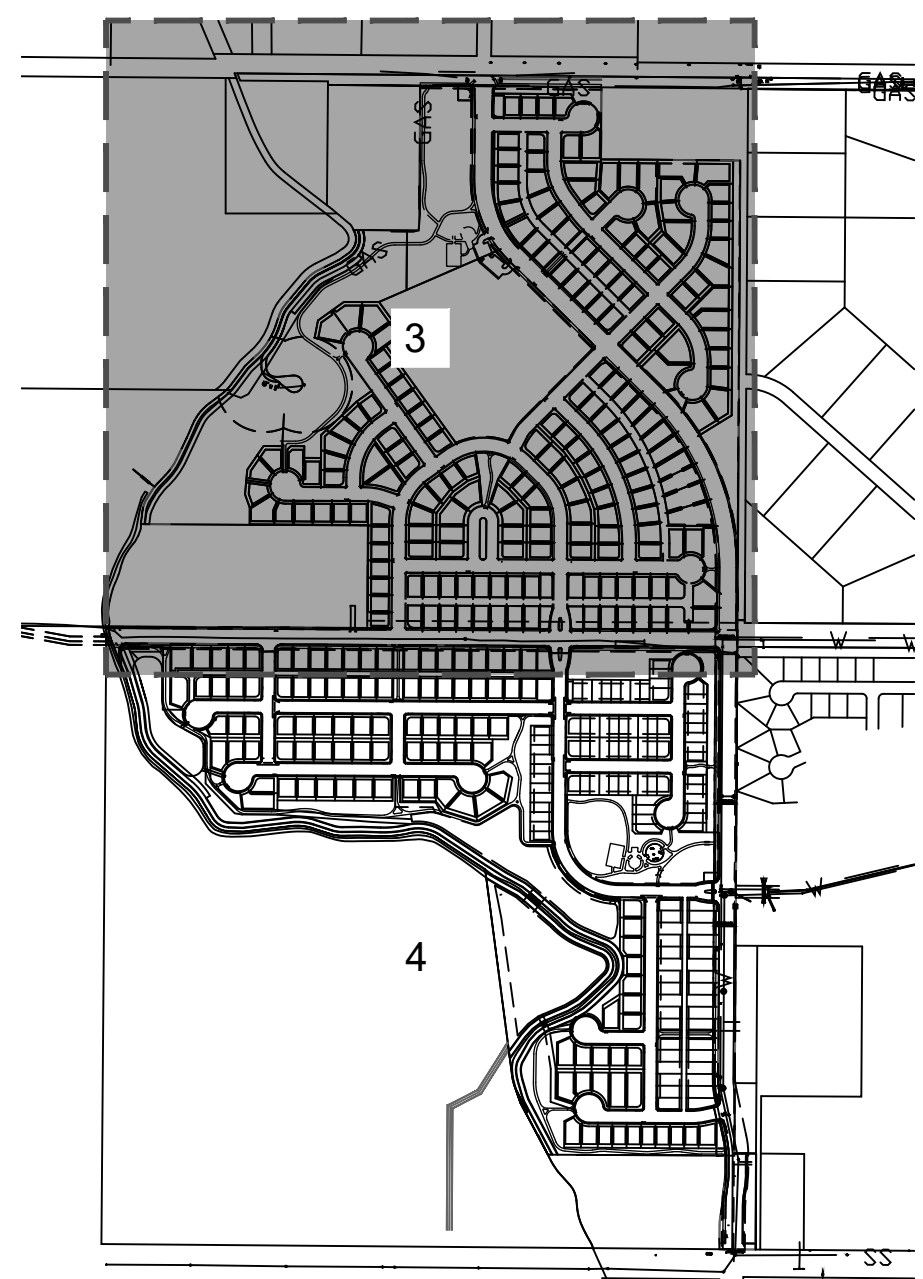
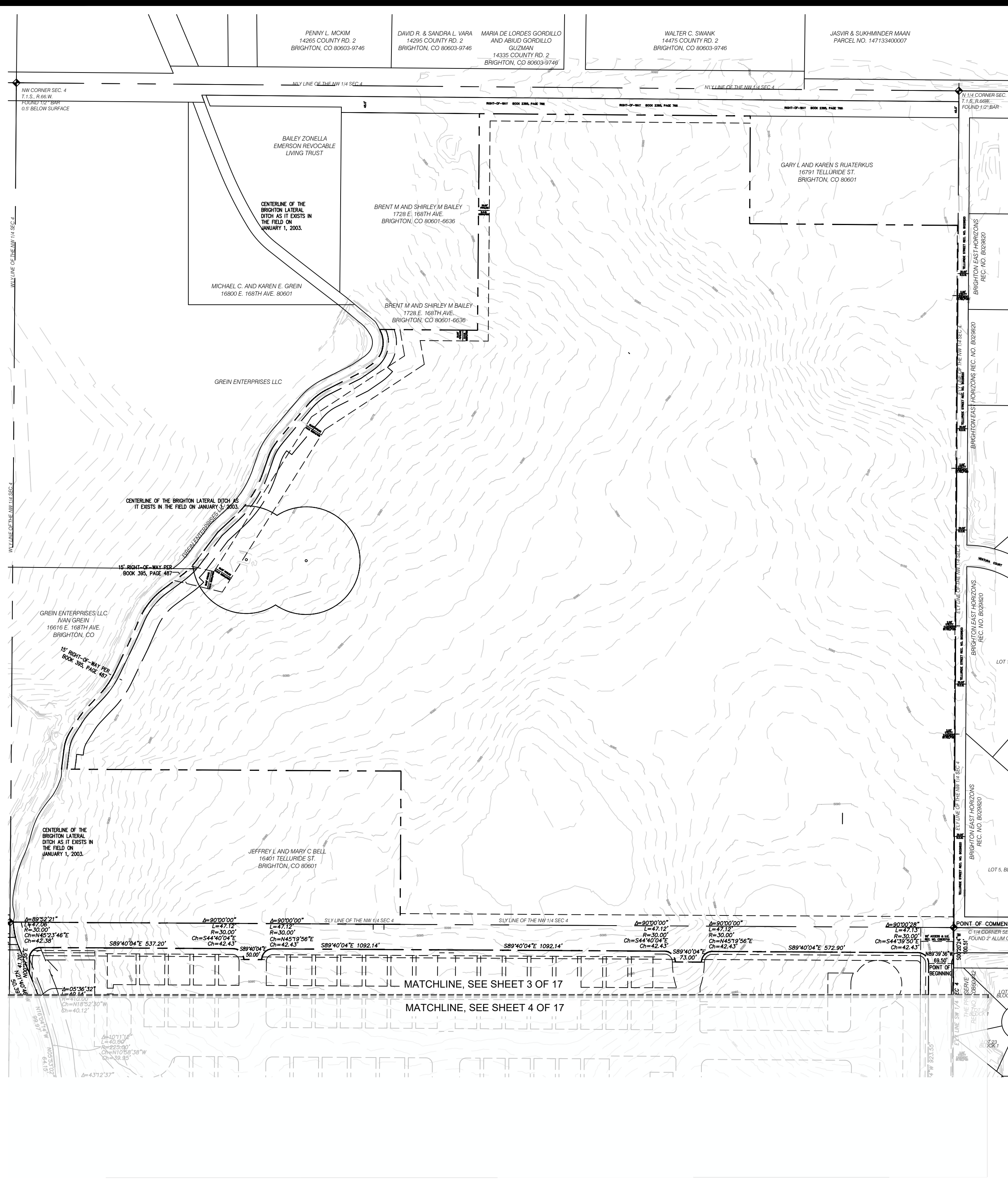
  

DATE	DRAWN	CHECKED	APPROVED	PROJECT NO.	HORZ. SCALE	VERT. SCALE
04/27/2021	JNK	SMW	SMW	20034		

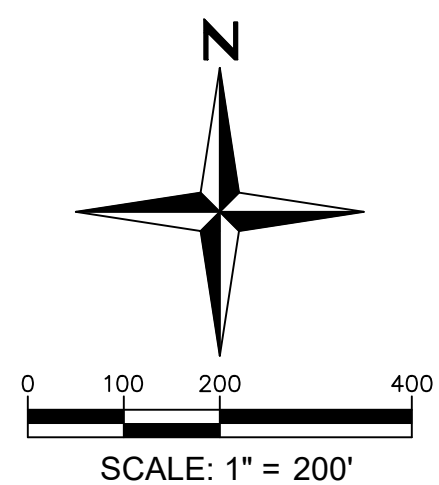
**MOUNTAIN VIEW ESTATES**  
**PLANNED DEVELOPMENT**  
**COVER**

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KEY MAP

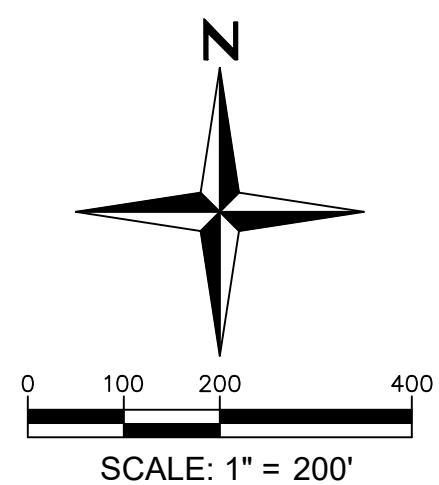
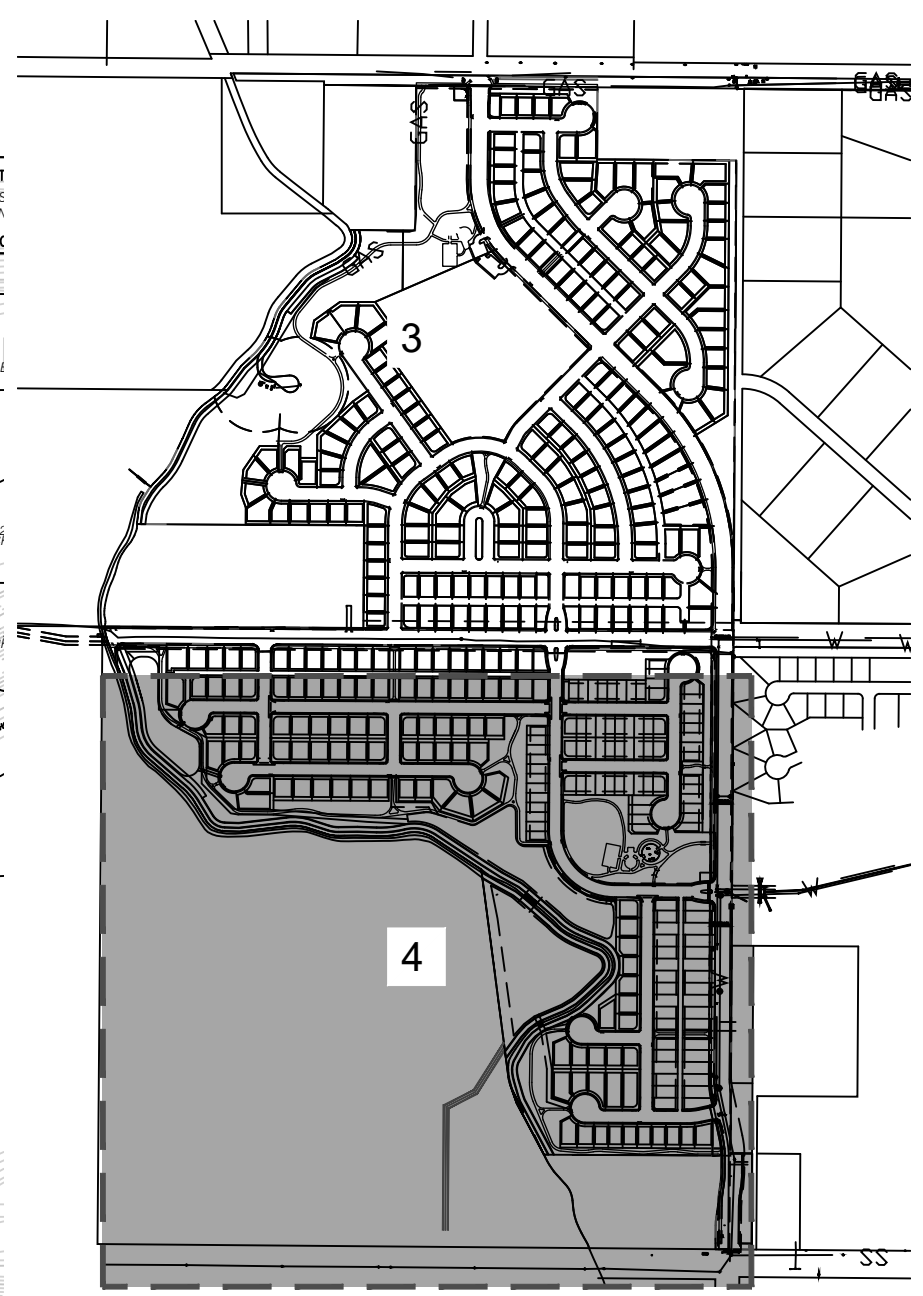
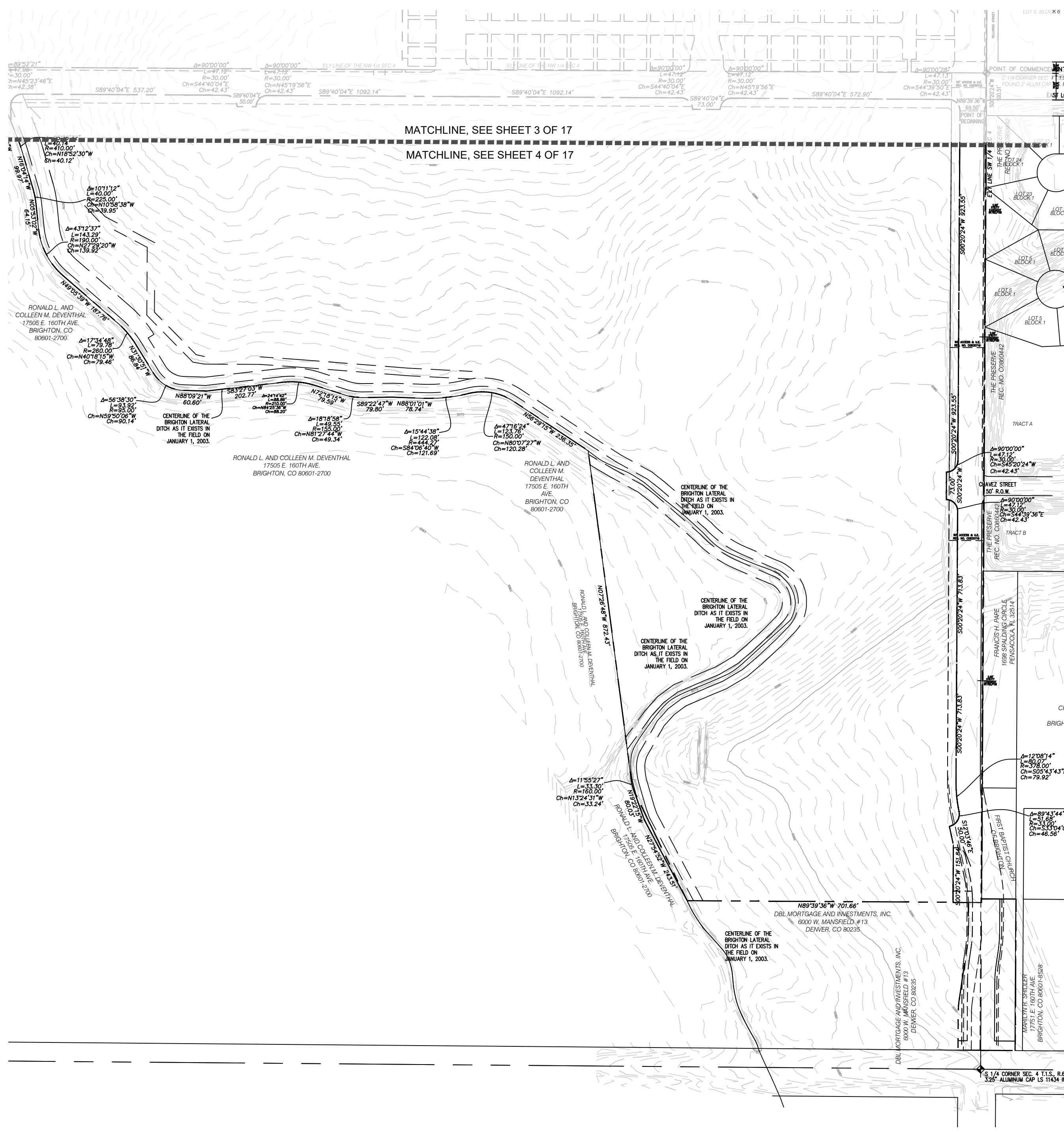


DATE	REVISION	DATE	REVISION
04/27/2021	1st Submittal	04/27/2021	JNK
07/13/2021	2nd Submittal		SMW
08/24/2021	3rd Submittal		SMW
10/12/2021	4th Submittal		SMW
11/19/2021	5th Submittal		SMW
12/03/2021	6th Submittal		SMW

DATE	NO.	REVISION
04/27/2021	1	1st Submittal
07/13/2021	2	2nd Submittal
08/24/2021	3	3rd Submittal
10/12/2021	4	4th Submittal
11/19/2021	5	5th Submittal
12/03/2021	6	6th Submittal

**MOUNTAIN VIEW ESTATES**  
**PLANNED DEVELOPMENT**  
**EXISTING CONDITIONS**

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DATE	REVISION	DATE	REVISION
04/27/2021	1st Submittal	04/27/2021	JNK
	2nd Submittal		SMW
	3rd Submittal		SMW
	4th Submittal		SMW
	5th Submittal		SMW
	6th Submittal		SMW

DATE	NO.	DATE	NO.
04.27.2021	1	04.27.2021	1
07.13.2021	2	07.13.2021	2
08.24.2021	3	08.24.2021	3
10.12.2021	4	10.12.2021	4
11.19.2021	5	11.19.2021	5
12.03.2021	6	12.03.2021	6

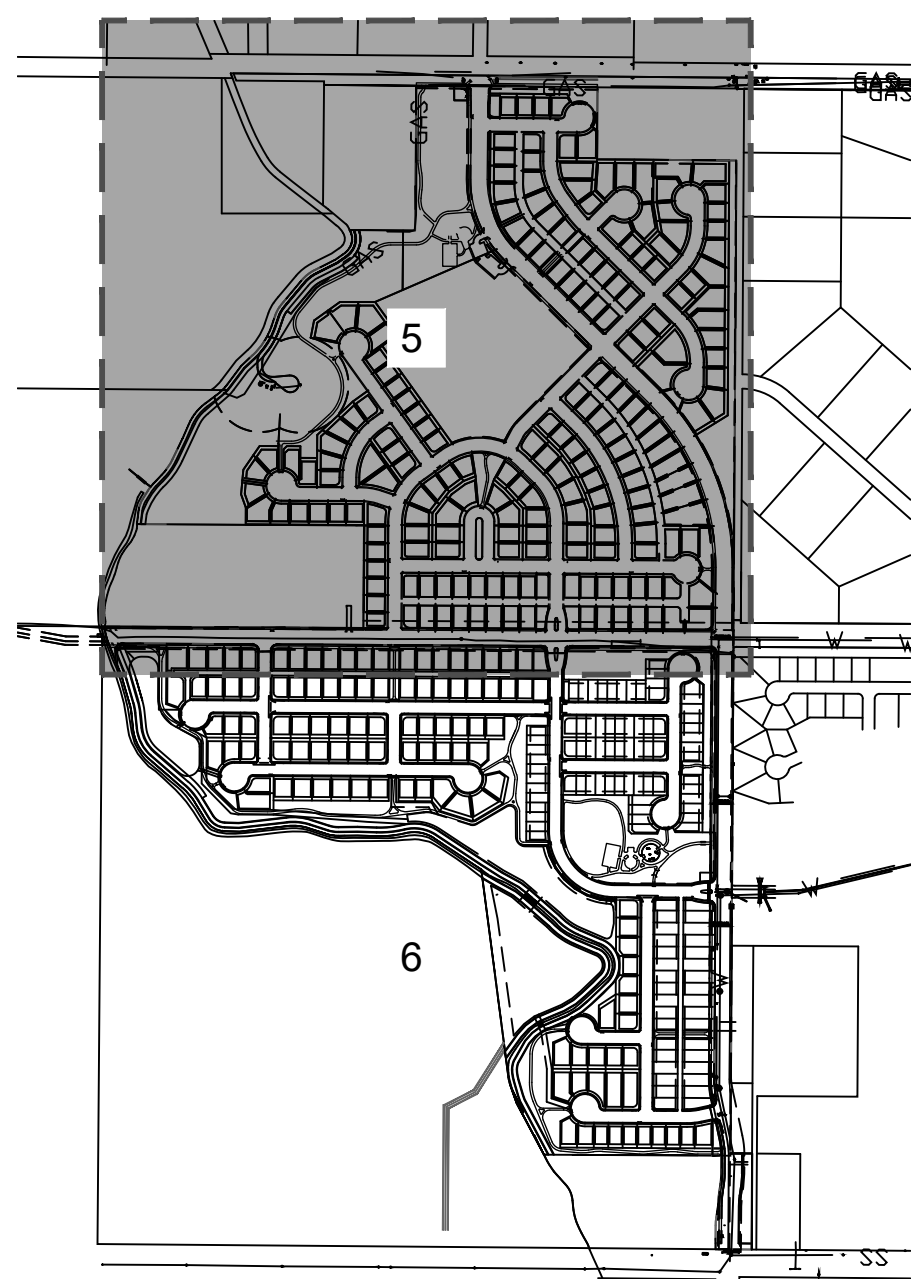
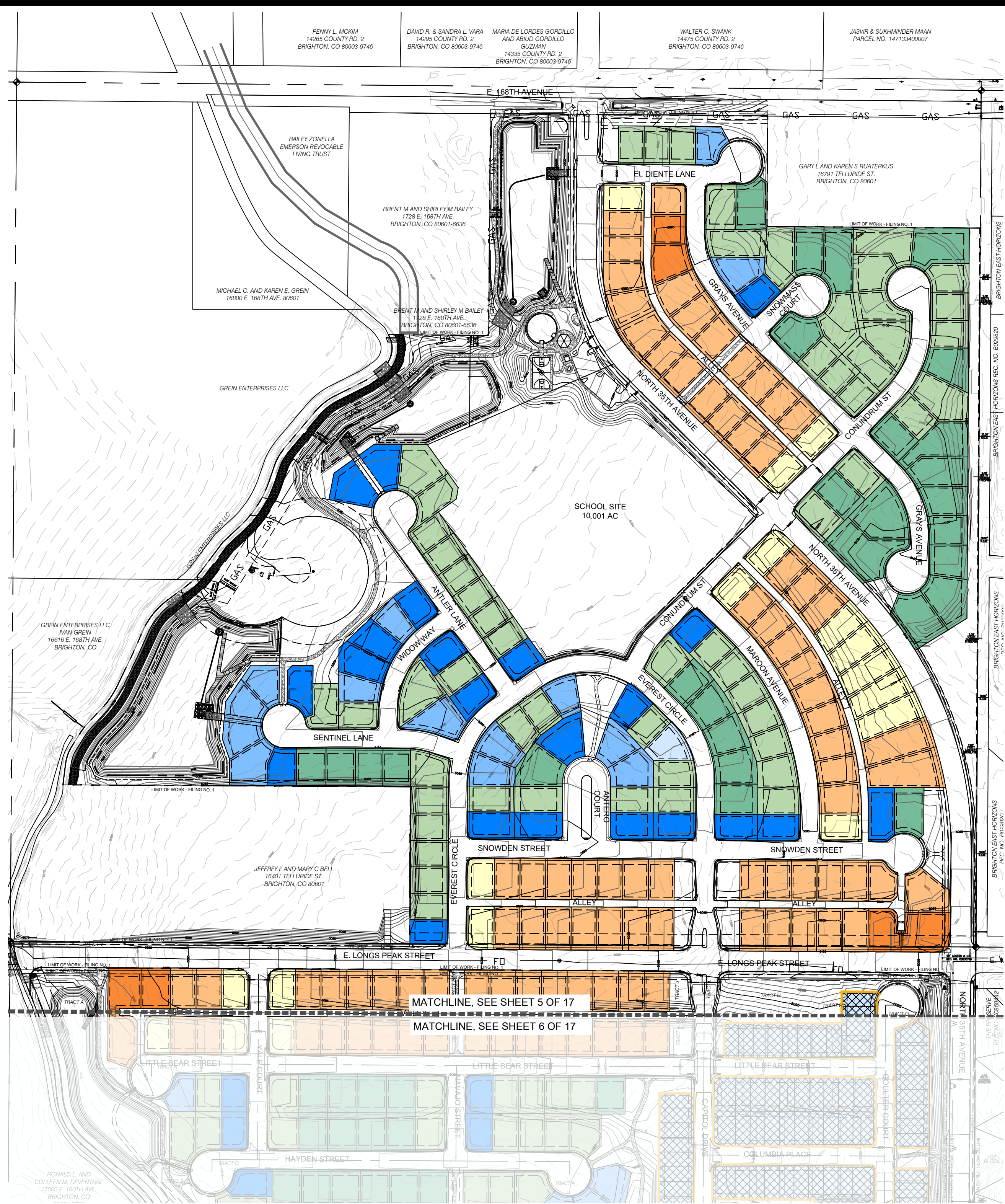
**MOUNTAIN VIEW ESTATES**

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**PLANNED DEVELOPMENT**

**EXISTING CONDITIONS**

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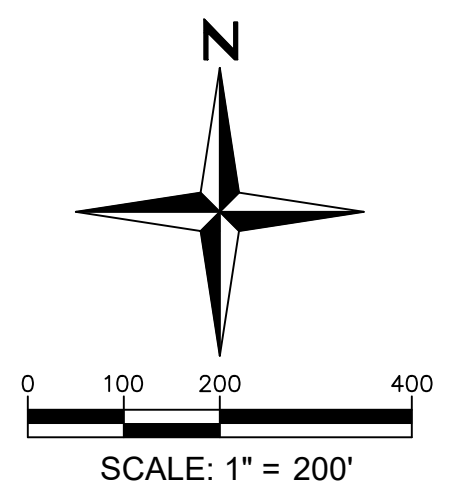


KEY MAP

COLOR	LOT SIZE	LOADING	TOTAL
[Blue]	40'	FRONT	73
[Yellow]	NEW 50'	FRONT	17
[Blue]	50'	ALLEY	48
[Green]	60'	FRONT	38
[Green]	70'	FRONT	85
[Green]	70'	ALLEY	94
[Green]	80'	FRONT	49
[Orange]	80'	ALLEY	6
<b>TOTAL</b>			<b>410</b>

LOT ALLOWED TO BE SFD OR SFA PRODUCT

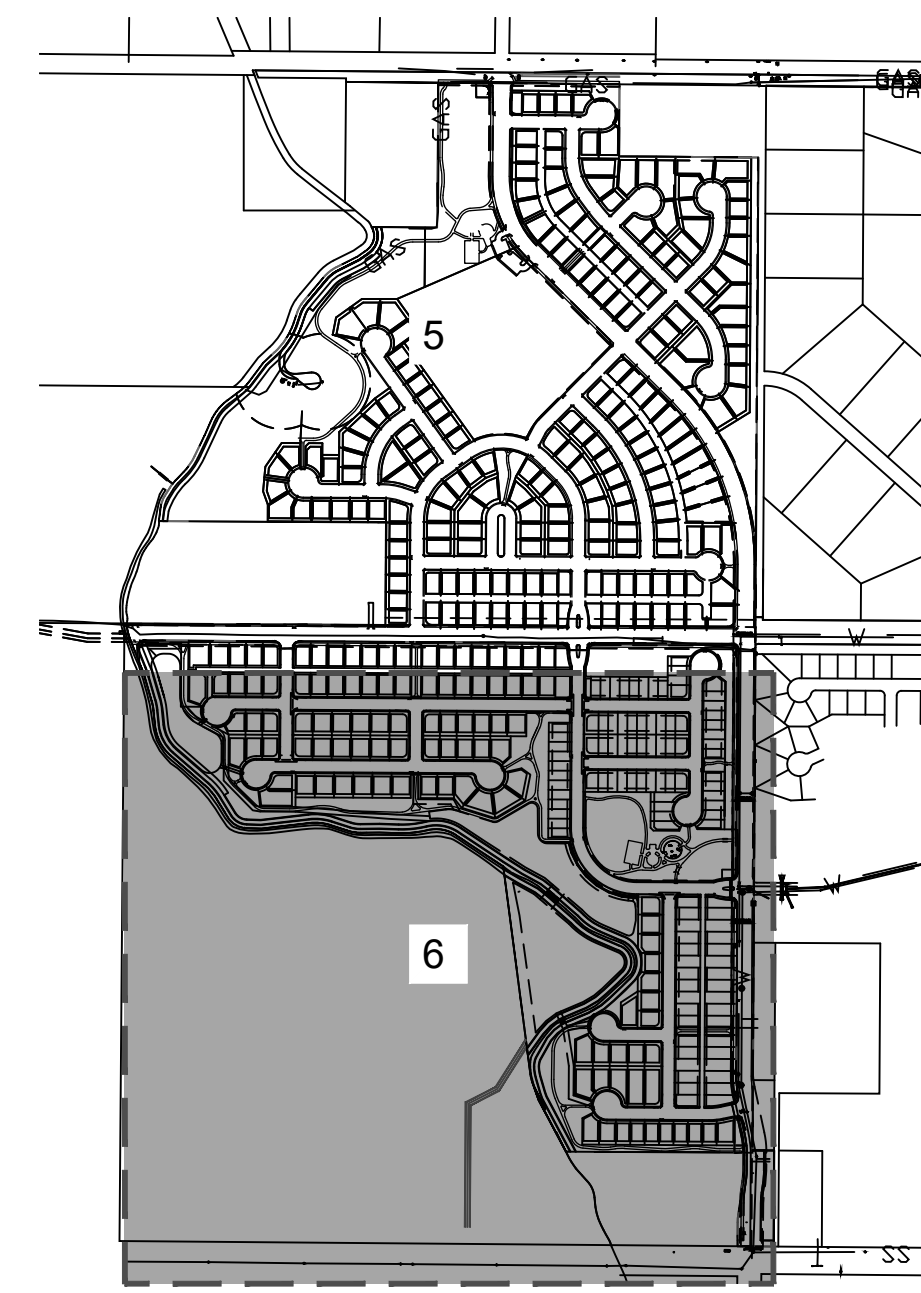
**NOTE:**  
 1. IF THE SCHOOL SITE - OR ANY OTHER PROPERTY - REVERTS BACK TO PRIVATE OWNERSHIP, R-1-B RESIDENTIAL USES ARE ALLOWED AND DEVELOPMENT WILL FOLLOW THE DESIGN GUIDELINES ASSOCIATED WITH THIS PLANNED DEVELOPMENT.  
 2. ALL GRADING, DRAINAGE INFORMATION, AND PARK DESIGN IS SHOWN FOR ILLUSTRATIVE PURPOSES AND WILL BE APPROVED WITH THE CIVIL CONSTRUCTION DRAWINGS



DATE	04/27/2021
DRAWN	JNK
CHECKED	SMW
APPROVED	SMW
PROJECT NO.	20034
HORIZ. SCALE	-
VERT. SCALE	-

REVISION	DATE	NO.
1st Submittal	04.27.2021	1
2nd Submittal	07.13.2021	2
3rd Submittal	08.24.2021	3
4th Submittal	10.12.2021	4
5th Submittal	11.19.2021	5
6th Submittal	12.03.2021	6

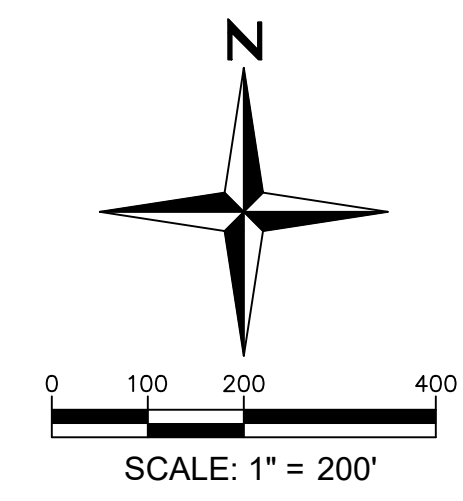
**MOUNTAIN VIEW ESTATES**  
**PLANNED DEVELOPMENT**  
 ILLUSTRATIVE & CONCEPTUAL DEVELOPMENT PLAN



KEY MAP

LOT TYPE LEGEND			
COLOR	LOT SIZE	LOADING	TOTAL
[Light Blue]	40'	FRONT	73
[Light Yellow]	NEW 50'	FRONT	17
[Light Blue]	50'	ALLEY	48
[Light Blue]	60'	FRONT	38
[Light Green]	70'	FRONT	85
[Light Green]	70'	ALLEY	94
[Light Green]	80'	FRONT	49
[Light Green]	80'	ALLEY	6
<b>TOTAL</b>			<b>410</b>
[Cross-hatched]	LOT ALLOWED TO BE SFD OR SFA PRODUCT		

**NOTE:**  
 1. IF THE SCHOOL SITE - OR ANY OTHER PROPERTY - REVERTS BACK TO PRIVATE OWNERSHIP, R-1-B RESIDENTIAL USES ARE ALLOWED AND DEVELOPMENT WILL FOLLOW THE DESIGN GUIDELINES ASSOCIATED WITH THIS PLANNED DEVELOPMENT.  
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DATE	04/27/2021
DRAWN	JNK
CHECKED	SMW
APPROVED	SMW
PROJECT NO.	20034
HORIZ. SCALE	-
VERT. SCALE	-

REVISION	NO.	DATE
1st Submittal	1	04.27.2021
2nd Submittal	2	07.13.2021
3rd Submittal	3	08.24.2021
4th Submittal	4	10.12.2021
5th Submittal	5	11.19.2021
6th Submittal	6	12.03.2021

**MOUNTAIN VIEW ESTATES**  
**PLANNED DEVELOPMENT**  
 ILLUSTRATIVE & CONCEPTUAL DEVELOPMENT PLAN

# STATEMENT OF INTENT

The Mountain View Estates Development is a 165.7 ac property, zoned PD with two Final Plats approved in September 2013, and recorded in 2014. The property contains two filings, documented in the approved Final Plats for Mountain View Estates Filing No. 1 and Filing No. 2. Both filings were entitled in November 2013. The property is located at the SW corner of E 168<sup>th</sup> Ave. and Telluride Street. The purpose of the Planned Development is to amend the development standards to create lot standards and to better meet the project goals as set forth below. The property zoning is PD; any items not set forth below in this PD document will default to R-1-B zoning per the City of Brighton LUDC.

Mountain View Estate is envisioned as a unique neighborhood offering multiple housing options, expanding parks and trail connections as well as improving surrounding infrastructure needs.

## PROJECT GOALS

- Fulfill the approved 2013 Final Plats.
- Infrastructure improvements: construct all infrastructure associated with the development agreement for Mountain View Estates and help facilitate the construction of a new storm drain outfall pipeline by the City of Brighton.
- Create a neighborhood with a variety of housing options to meet the current housing demand in the area.
- Provide two neighborhood parks and trail connections throughout the neighborhood.
- Update the Landscape Plans to incorporate low water/xeric plant palette to reduce overall water demand for the neighborhood.
- Refresh the approved Civil Engineering and Landscape Architecture Construction Documents to incorporate current stormwater, ADA requirements, and low water/xeric plant palette.

## AUTHORITY

Upon approval of and adoption of the Planned Development by the City Council, this document and the approved Final Plats shall become the governing documents for all development within the project boundary.

The design standards will generally follow the 2008 Brighton Land Use Code unless otherwise stated herein including variations to the single family residential design standards (RDS) of the 2008 land use code. However, any items not covered by these stipulations shall be governed by the City of Brighton Land Use and Development Code dated 2008, (not as amended).

## DEFINITIONS

All terms used in these standards shall have their commonly accepted meaning based upon the context of their use within this document. The following terms shall have the meaning given below, unless more specifically described, limited or qualified within the standards of this document.

- 1) Detached House - A residential building designed for one primary dwelling unit. Variants of this type are based primarily on lot size and context, and the standards of the particular zoning district.
- 2) Attached / Paired House - A residential building designed to accommodate 2 primary dwelling units. Paired homes share a single common wall, platted as separate lots along the common wall line subject to platting restrictions.

## GENERAL DESIGN STANDARDS

- 1) Phasing:
  - a. Construction of the project and timing of the development shall occur as set forth in the Development Agreement.
- 2) Parks and Open Space:
  - a. The approved Final Plats govern the parks and open spaces tracts and has occurred with Final Plats for both Filing No. 1 and No. 2
- 3) Landscape Character:
  - a. The neighborhood landscape plan is revised to incorporate low water / xeric plant palate to reduce water usage across the neighborhood. See Addendum 2 on sheets 18-19 for plant list.
  - b. Plant materials must not obscure the line of sight for traffic, or obstruct the sidewalk. Plants should be kept under 2 FT tall within five (5) FT of a driveway. Mulch and plant materials must be kept off the curb and sidewalk.
  - c. The design and installation of tree lawns shall adhere to the following requirements:
    1. High water irrigated turf shall not be allowed.
    2. A maximum of 50% of the landscape area shall be rock mulch, the other 50% may be a combination of low groundcover, grasses, or shrub plantings. No bare dirt or artificial plants are allowed.
    3. Of the landscaped area, a minimum of 50% shall be required to have living coverage 3-5 years after installation. Living coverage shall be defined as "All living plant species consisting of trees, shrubs, annuals, perennials, vines, groundcovers, ornamental and turf grasses that are appropriate for the City's climate and xeric landscape application".
    4. Irrigation shall be limited to underground or drip systems.
  - d. The design and installation of front and side yards on a public street shall adhere to the following requirements:
    1. A maximum of 50% of the landscape area shall be rock mulch, the other 50% may be bark mulch or turf grass. No bare dirt or artificial plants are allowed.
    2. Of the landscaped area, a minimum of 50% shall be required to have living coverage 3 years after installation. Living coverage shall be defined as "All living plant species consisting of trees, shrubs, annuals, perennials, vines, groundcovers, ornamental and turf grasses that are appropriate for the City's climate and xeric landscape application".
    3. A maximum of 30% high water turf grass is allowed in the front yards. Low water turf varieties such as buffalo / blue gramma grass shall be considered as an alternative where applicable.
  - e. Builders shall be required to design and install all front and side yards adjacent to public street with a low water, xeric landscape palate (this requirement excludes internal side and rear yards). These standards shall be maintained by the property owner in perpetuity. Please reference Addendum 3 on sheets 20-21 for on-lot landscape typicals.
  - f. Each builder shall submit typical landscaping plans (including irrigation) for all front and side yards adjacent to a public street with their RDS reviews.
  - g. Future residents shall be encouraged to install low water/xeric landscape palette for private, rear yards.

## SINGLE FAMILY DETACHED / ATTACHED (PAIRED HOMES) RESIDENTIAL DESIGN STANDARDS (RDS):

- 1) The intent within Mountain View Estates Subdivision is to build homes of various architectural designs that relate homes to the street, that create diversity and variety along residential streets, and reflect traditional Colorado styles and neighborhoods, while

also allowing complimentary modern designs. These PD standards are intended to ensure that an adequate mix of models and styles are offered within the neighborhood.

- 2) Model diversity will follow the 2008 LUDC Section 17-44-230. Each home builder will provide four (4) different floor plans and elevations.
- 3) Design Standards
  - a. A minimum 2 ft modulation for elevations adjacent to street or double frontage lots, excludes elevations along alleys.
  - b. Minimum window and door openings for internal side elevation shall be 8% and for corner side elevation on a street shall be 15%. Minimum window and door openings for front elevations shall be 20% for first story and 10% for upper stories and 10% for all rear elevations.
  - c. At least 50% of the homes in each Filing shall have an area equivalent to at least 50% of the front façade elevation (not including windows, doors, garage doors and related trim areas) clad in brick, stone, manufactured stone-like material, stucco or other approved masonry materials. The remaining 50% of the homes will not have a masonry requirement.
  - d. Mix of roof colors: Where asphalt shingles are used 4 distinct roof colors and required to be dispersed throughout the neighborhood.
- 4) Garage Design Standards (Applies to garages facing a public street right-of-way)
  - a. 50% of the lots shall have alternative garage loading.
  - b. Maximum garage door frontage applies only to front loaded lots and is determined based on total front façade square footage.
    1. 45% maximum garage door coverage for a two (2) car garage.
    2. 50% maximum garage door coverage for a three (3) car garage.
  - c. In the case of a three (3) car garage, the one car garage shall be recessed from the two (2) car garage by a minimum of one (1) foot.
- 5) Double fronted Lots along Minor and Major Arterials:
  - a. A lot is not considered double fronted if the rear lot line is separated by a landscape buffer or tract.
  - b. Perimeter building setbacks shall be measured from the landscape buffer or tract and shall comply with the setbacks as stated in the Mountain View Estates PD.
  - c. Additional building setbacks are not required along local or collector streets.
  - d. The depth of lots adjacent to Minor Arterial and Collector shall be as indicated on the approved Final Plat.
- 6) Fencing:
  - a. Lot fencing shall adhere to the following guidelines and shall apply to all lot lines not defined as perimeter fencing in item 6b:
    1. A 42-inch-high open rail fence of wood, vinyl or composite is required on lot lines backing or siding on parks, open space, and landscape tracts. Welded wire mesh on the inside of the open rail fence is permitted for pet enclosure.
    2. A six (6) foot high solid privacy fence of wood, vinyl or composite is permitted on single family detached lots internal shared side and rear lot lines and on corner side lot lines unless subject to provision 6A.
  - b. A perimeter fence or wall is defined as a fence or wall greater than 42-inches in height and placed within 30-feet of the edge of right-of-way of a collector or arterial street and 25% or less opaque. Perimeter fencing for this project shall adhere to the following standards:
    1. Fencing along the perimeter of the residential subdivision shall be of a consistent design
    2. A maximum of 60% of the frontage shall have a perimeter fence. The remaining 40% may be provided by intersecting streets, pedestrian ways, parks, open space, or alternative land uses. Fences or walls that have a surface area that is 25% or less opaque, hedges and screens composed of living plant materials or any land use with a wall of fence lower than 42-inches may count toward the 40% requirements.
    3. No change in fence plane is required.
    4. A break in the fence plane is required approximately every 200 feet or as adjusted based on adjacent residential lot lines.
- 7) Amending an Approved PD Plan.
  - a. Alterations to a PD plan exceeding the limits established below or any change in the category of use shall be reviewed by the Planning Commission and City Council according to the complete PD plan review procedure.
  - b. City staff and the Director may approve minor alterations to the PD Plan without review by Planning Commission or City Council if the alterations do not affect the overall character of the development and if the alterations are in full compliance or greater compliance with all applicable provisions of Article 17-116-110 of the 2008 LUDC and other applicable codes and ordinances. In order to apply, the applicant shall submit a written and/or graphic statement describing in full detail the nature and extent of the alterations. Once the minor alteration has been approved by the City staff and the Director, the statement shall be signed by the applicant and Director and placed in the permanent files. In addition to the above limitations, the total of the alterations approved by City staff and the Director shall not in aggregate result in:
    1. An increase of more than one percent (1%) in residential density;
    2. An increase of more than two percent (2%) on the ground area covered by buildings;
    3. A reduction of more than two percent (2%) in the are reserved for common open space; or
    4. A reduction of more than two percent (2%) in the quantity of off-street parking.



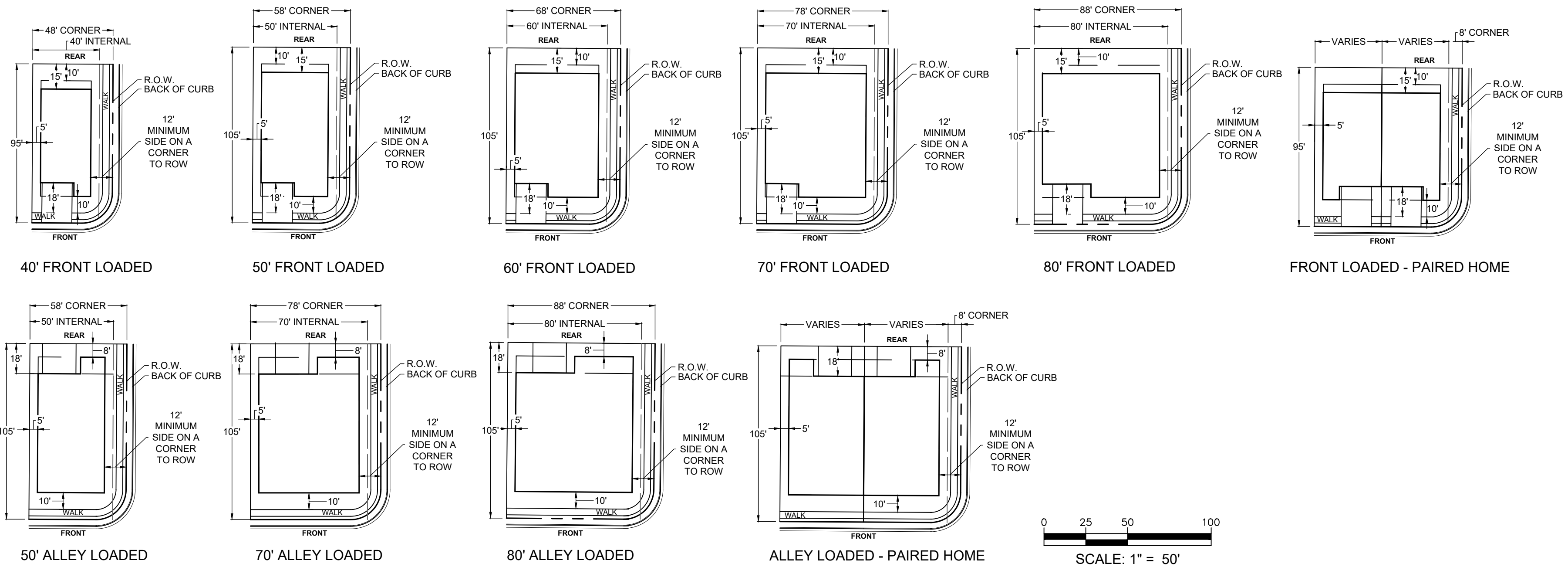
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CHECKED	SMW
APPROVED	SMW
PROJECT NO.	20034
HORZ. SCALE	.
VERT. SCALE	.

REVISION	NO.	DATE
1st Submittal	1	04.27.2021
2nd Submittal	2	07.19.2021
3rd Submittal	3	08.24.2021
4th Submittal	4	10.12.2021
5th Submittal	5	11.19.2021
6th Submittal	6	12.03.2021

**MOUNTAIN VIEW ESTATES**  
**PLANNED DEVELOPMENT**  
**REGULATING PLAN**

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LOT TYPICALS



LOT DEVELOPMENT STANDARDS

PD	Single Family Detached	Minimum Lot Sizes	Minimum Lot Width *	Minimum Lot Open Space	Front Yard Setback to Porch or Structure **	Front Yard Setback to Garage Face **	Side Yard Setback (Min.)	Rear Setback (Min.)	Building Height (Max.)	Encroachments
Front Garage Loaded Lots	3,800 FT	40 FT Interior Corner Lot + 5 FT	400 SF	10 FT Accessory Bldg. Not Allowed	18 FT	Internal Principal Bldg. 5 FT Corner Principal Bldg. to ROW 12 FT Accessory Bldg. 5 FT	Principal Bldg. 15 FT Patio or Deck 10 FT Accessory Bldg. 10 FT	Principal Bldg. 35 FT Accessory Bldg. 16 FT	A. Encroachments into setbacks: cornices, canopies, eaves, fireplaces, wing walls or similar architectural features are allowed to project not more than two (2) feet into required setbacks. B. Unenclosed and un-roofed deck or patio at or below the first floor elevation may extend into the rear or side setback up to fifteen (15) feet but no closer than five (5) feet from any lot line.	
Alley Garage Loaded Lots	5,200 FT	50 FT Interior Corner Lot + 5 FT	400 SF	10 FT Accessory Bldg. Not Allowed	N/A	Internal Principal Bldg. 5 FT Corner Principal Bldg. to ROW 12 FT Accessory Bldg. 5 FT	Principal Bldg. 8 FT Accessory Bldg. 10 FT	Principal Bldg. 35 FT Accessory Bldg. 16 FT		
PD	Single Family Attached	Minimum Lot Sizes	Minimum Lot Width*	Minimum Lot Open Space	Front Yard Setback to Porch or Structure**	Front Yard Setback to Garage Face **	Side Yard Setback (Min.)	Rear Setback (Min.)	Building Height (Max.)	Encroachments
Front Garage Loaded Lots	3,800 FT	40 FT Interior Corner Lot + 5 FT	400 SF	10 FT Accessory Bldg. Not Allowed	18 FT	Attached - Principal Bldg. 0 FT on attached/shared wall and 5 FT other side. Corner lots have a setback of 12 FT to public ROW Accessory Bldg. 5 FT	Principal Bldg. 15 FT Patio or Deck 10 FT Accessory Bldg. 10 FT	Principal Bldg. 35 FT Accessory Bldg. 16 FT	A. Encroachments into setbacks: cornices, canopies, eaves, fireplaces, wing walls or similar architectural features are allowed to project not more than two (2) feet into required setbacks. B. Unenclosed and un-roofed deck or patio at or below the first floor elevation may extend into the rear or side setback up to fifteen (15) feet but no closer than five (5) feet from any lot line.	
Alley Garage Loaded Lots	5,200 FT	50 FT Interior Corner Lot + 5 FT	400 SF	10 FT Accessory Bldg. Not Allowed	N/A	Attached - Principal Bldg. 0 FT on attached/shared wall and 5 FT other side. Corner lots have a setback of 12 FT to public ROW Accessory Bldg. 5 FT	Principal Bldg. 8 FT Accessory Bldg. 10 FT	Principal Bldg. 35 FT Accessory Bldg. 16 FT		

NOTES

\*Minimum Lot Width Measured at front setback Line  
 \*\*Front and side on a corner setback measured from back of walk, not ROW in tree lawn.

- See Appendix No. 1 for relevant city of Brighton Land Use and Development Standards.
- A maximum of 24 FT driveway apron and width for 2 car and 30 FT driveway apron width for 3 car garages shall be allowed. Lot access width shall follow the driveway apron widths defined in this note.
- Vehicular lot access shall occur at only one point as defined by the lot type denoted on the PD plans (i.e. front loaded or alley loaded).
- Garage face shall be a minimum of 18 FT measured to back of walk.
- Double frontage lots are allowed but highly discouraged. Where double frontage lots exist, additional landscape buffer shall be required with the exception of lots along the existing Telluride Street.
- Double Frontage lots are defined by the presence of a public street on both the front and back of the lot.
- Lots back on Telluride and N. 35th Ave. that are separated by a tract are not required to provide an additional setback.
- Max. SF for Front Garage Loaded lots accessory buildings to be 700SF and for Alley Garage Loaded lots to be 400 SF.



DATE	04/27/2021
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PROJECT NO.	20034
HORIZ. SCALE	
VERT. SCALE	

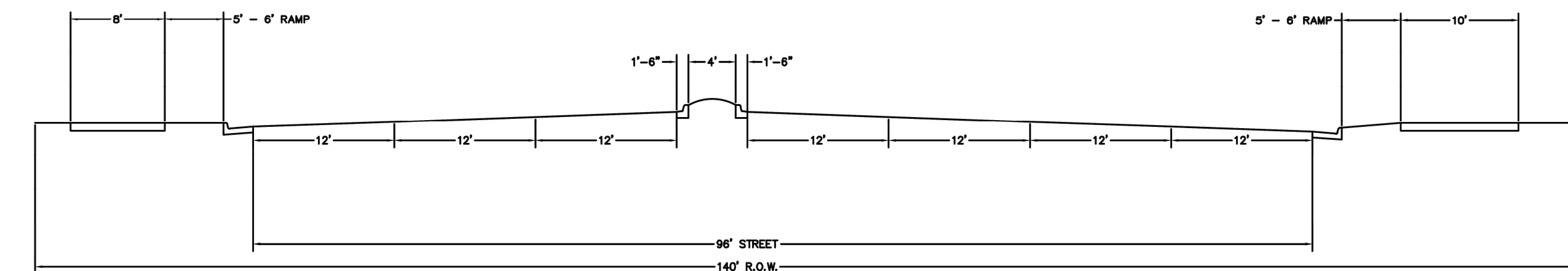
REVISION	NO.	DATE
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6th Submittal	6	12.03.2021

MOUNTAIN VIEW ESTATES  
 PLANNED DEVELOPMENT  
 REGULATING PLAN

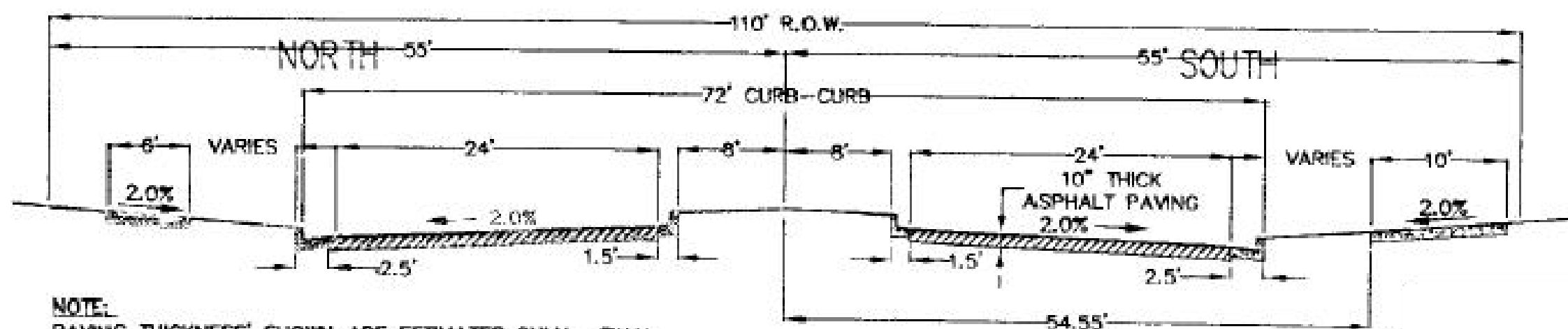
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## STREET SECTIONS (N.T.S.)

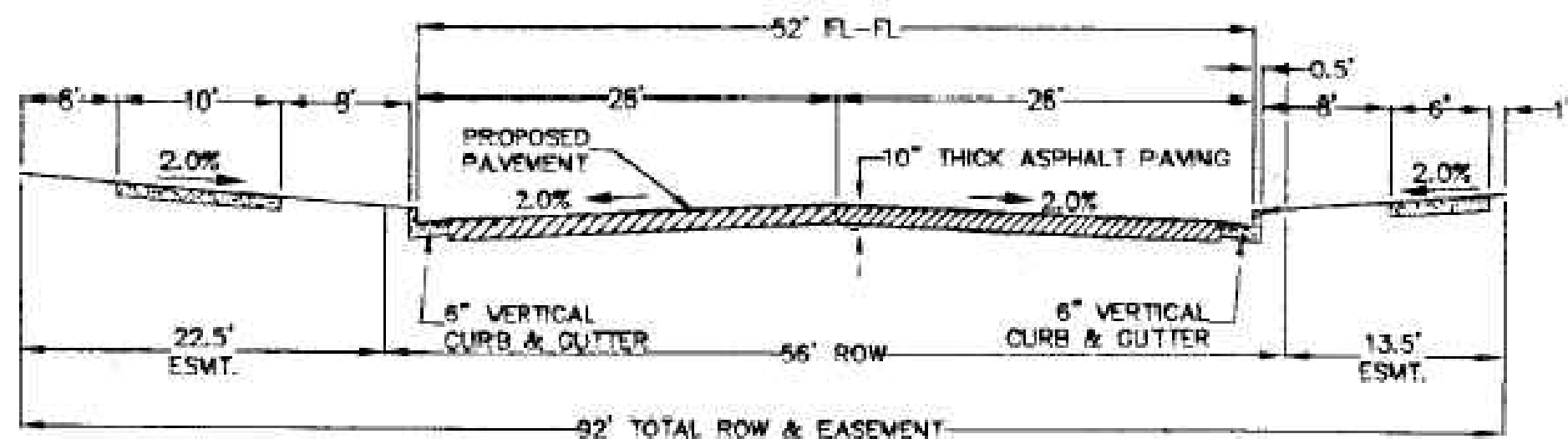


**A** MAJOR ARTERIAL (PER CITY OF BRIGHTON)



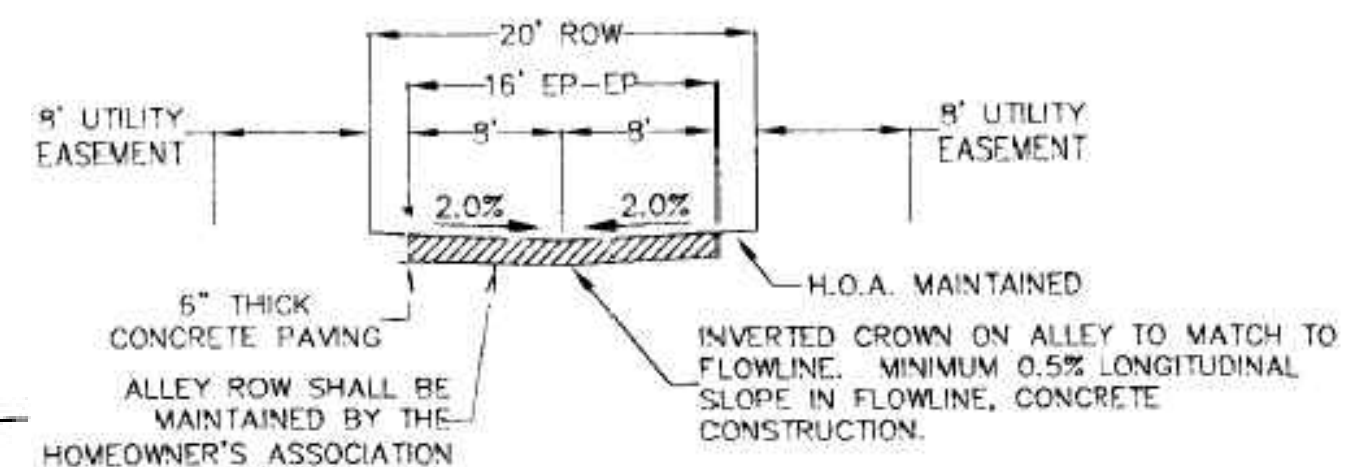
**NOTE:**  
PAVING THICKNESS' SHOWN ARE ESTIMATES ONLY. FINAL PAVING THICKNESS WILL BE BASED ON FINAL GEOTECHNICAL INVESTIGATION TO BE DONE AFTER THE SITE IS GRADED.

**B** MINOR ARTERIAL



**NOTE:**  
PAVING THICKNESS' SHOWN ARE ESTIMATES ONLY. FINAL PAVING THICKNESS WILL BE BASED ON FINAL GEOTECHNICAL INVESTIGATION TO BE DONE AFTER THE SITE IS GRADED.

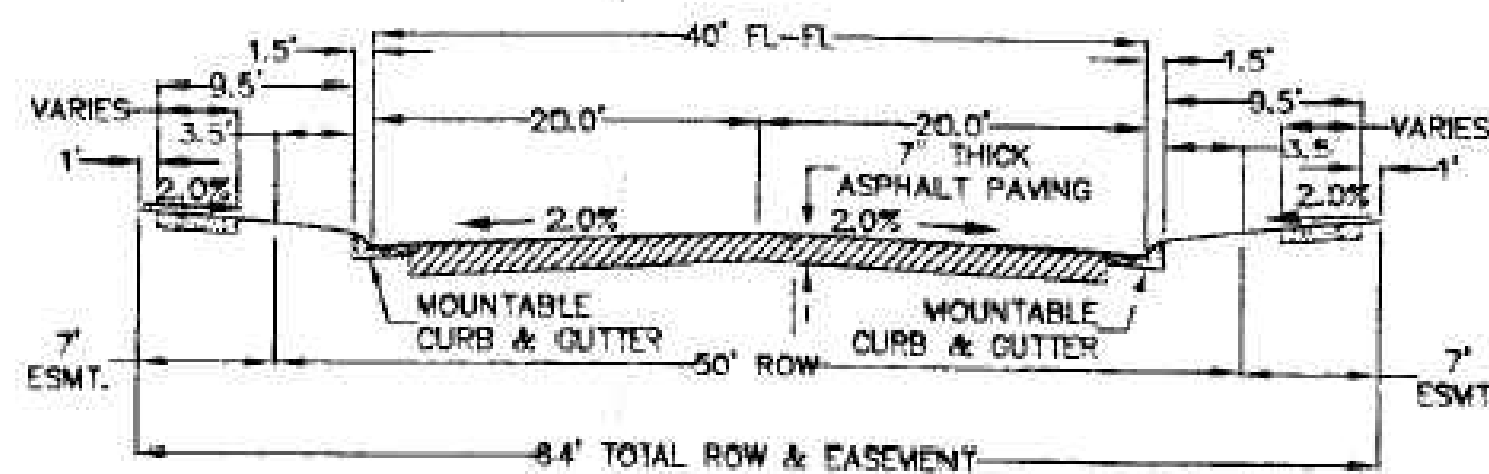
**C** COLLECTOR STREET



ALLEY ROW SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.  
H.O.A. MAINTAINED  
INVERTED CROWN ON ALLEY TO MATCH TO FLOWLINE. MINIMUM 0.5% LONGITUDINAL SLOPE IN FLOWLINE, CONCRETE CONSTRUCTION.

**NOTES:**  
1. GROUND COVER IN H.O.A. TO BE APPROVED BY CITY.  
2. PAVING THICKNESS' SHOWN ARE ESTIMATES ONLY. FINAL PAVING THICKNESS WILL BE BASED ON FINAL GEOTECHNICAL INVESTIGATION TO BE DONE AFTER THE SITE IS GRADED.

**D** ALLEY



**NOTE:**  
PAVING THICKNESS' SHOWN ARE ESTIMATES ONLY. FINAL PAVING THICKNESS WILL BE BASED ON FINAL GEOTECHNICAL INVESTIGATION TO BE DONE AFTER THE SITE IS GRADED.

**E** LOCAL STREET



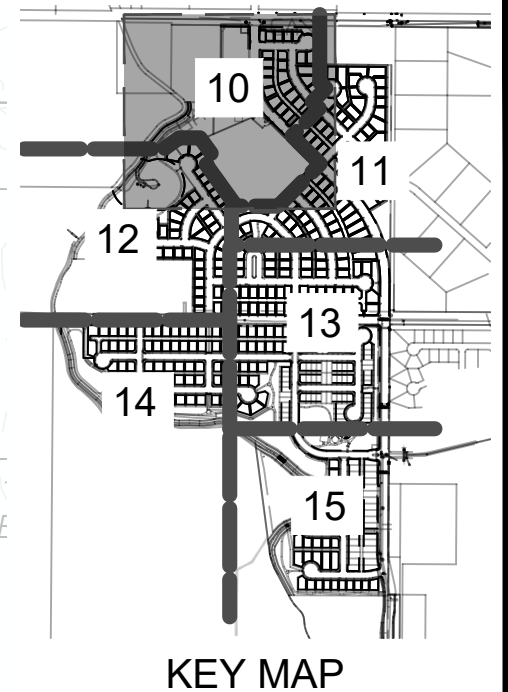
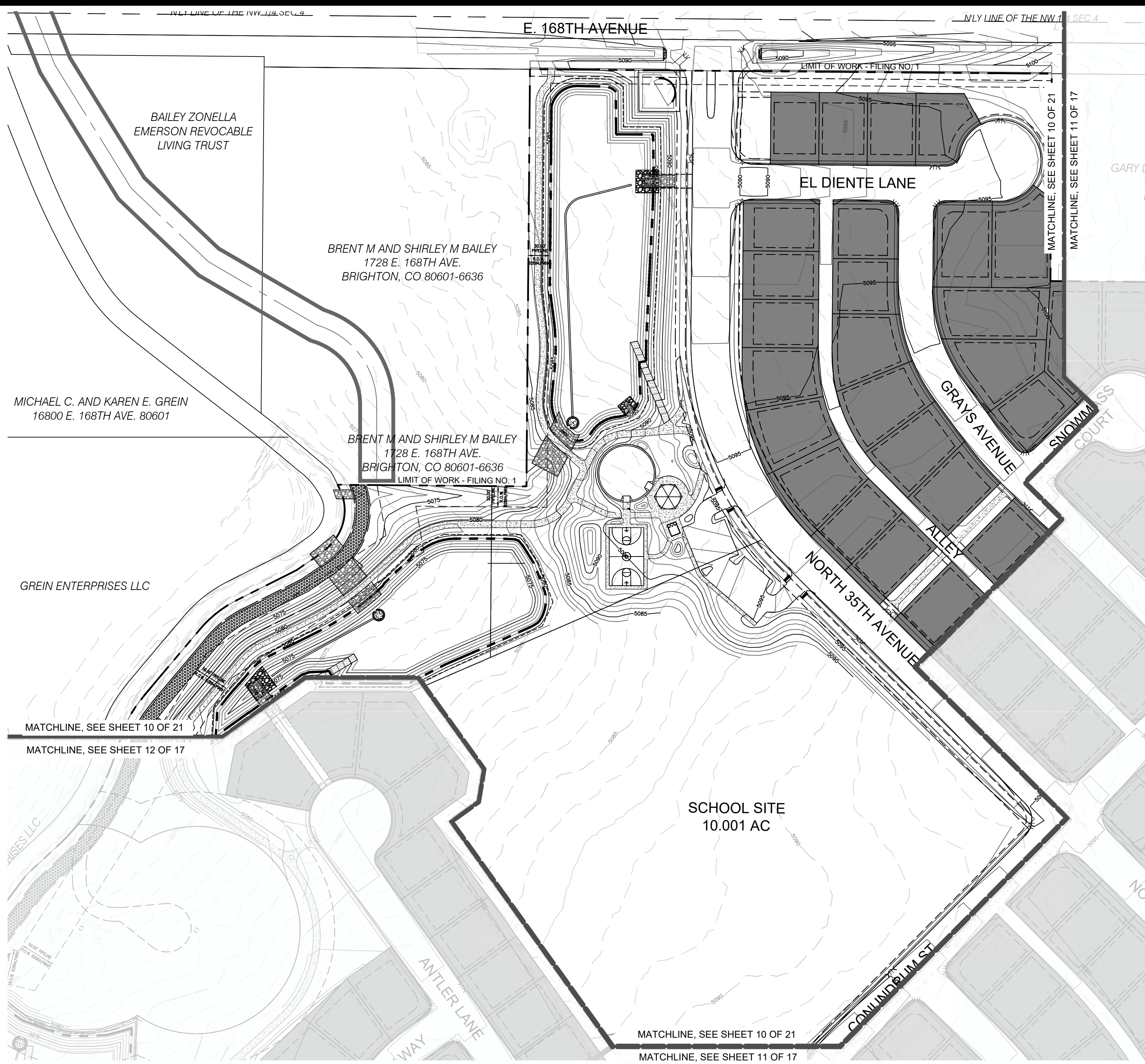
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APPROVED	SMW
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HORZ. SCALE	
VERT. SCALE	

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6th Submittal	6	12.03.2021

# MOUNTAIN VIEW ESTATES PLANNED DEVELOPMENT REGULATING PLAN

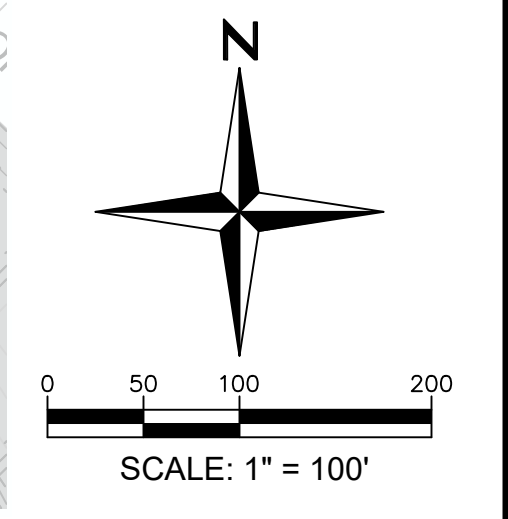
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**LEGEND**

- LIMIT OF WORK
- MATCHLINE
- ROW
- EXISTING CONTOUR
- PROPOSED CONTOUR
- LOT LINE
- LOT EASEMENT
- DETENTION POND
- LOT TYPE 1 - SFD
- LOT TYPE 2 - SFD & SFA



**NOTE:**  
ALL GRADING AND DRAINAGE INFORMATION IS SHOWN FOR ILLUSTRATIVE PURPOSES AND WILL BE APPROVED WITH THE CIVIL CONSTRUCTION DRAWINGS

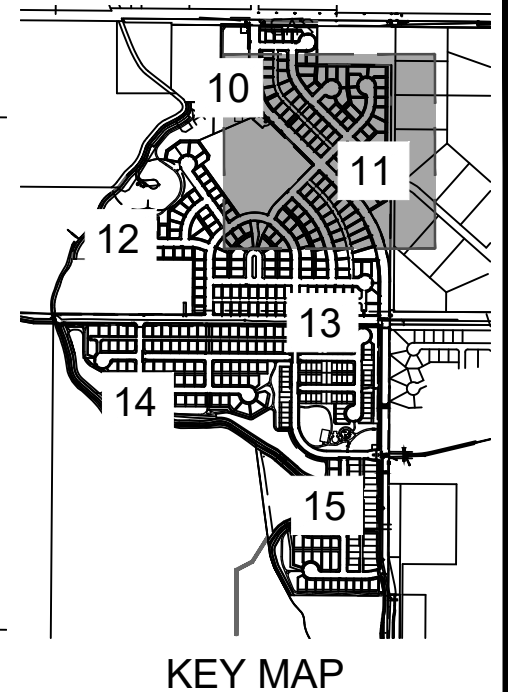
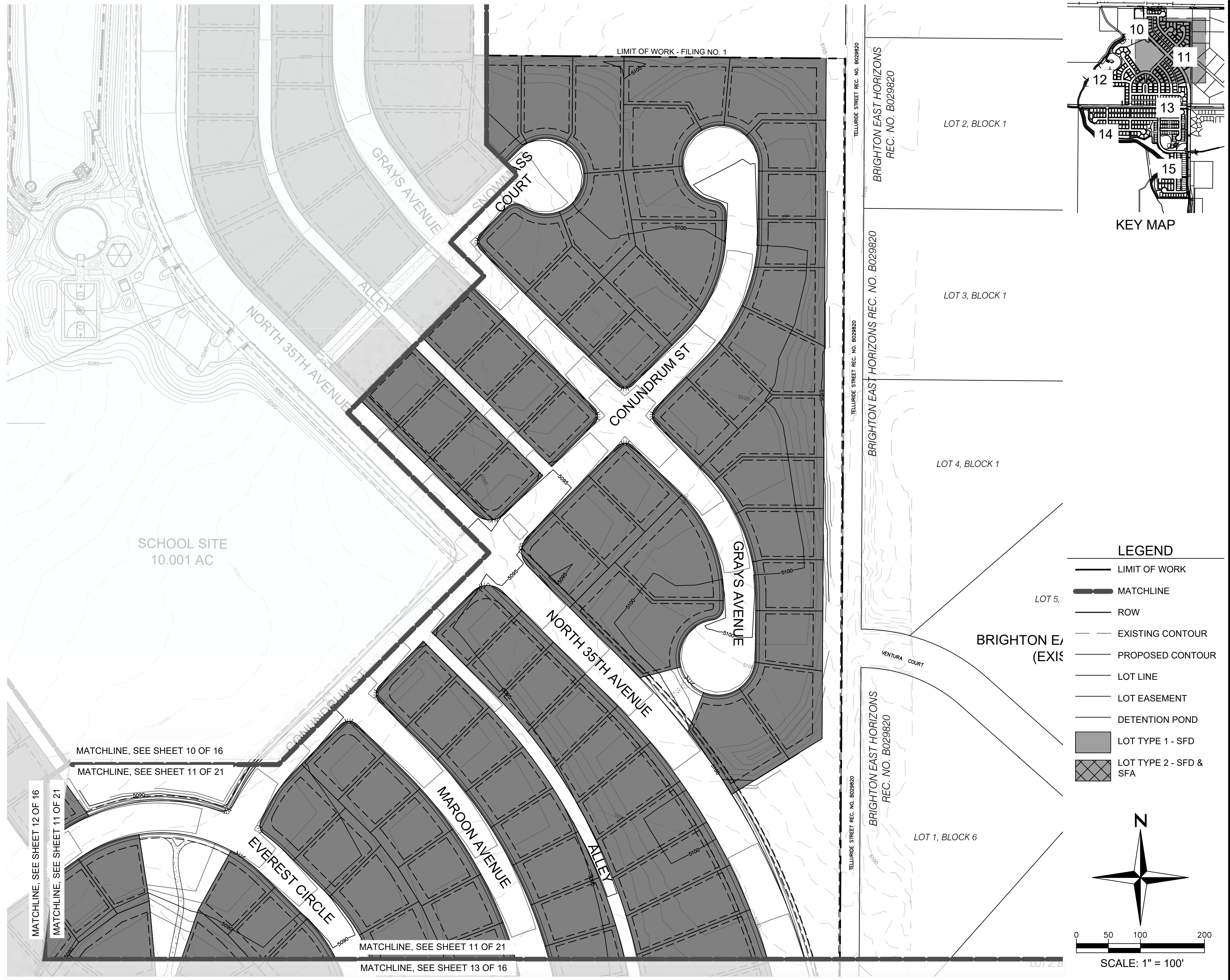


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APPROVED	SMW
PROJECT NO.	20034
HORIZ. SCALE	-
VERT. SCALE	-

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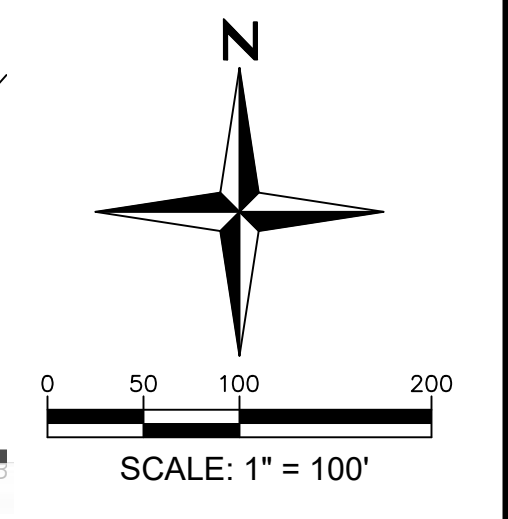
**MOUNTAIN VIEW ESTATES  
PLANNED DEVELOPMENT  
REGULATING & DETAIL PLANS**

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**LEGEND**

- LIMIT OF WORK
- MATCHLINE
- ROW
- EXISTING CONTOUR
- PROPOSED CONTOUR
- LOT LINE
- LOT EASEMENT
- DETENTION POND
- LOT TYPE 1 - SFD
- LOT TYPE 2 - SFD & SFA



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DATE	NO.	REVISION
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	3	SMW
	4	SMW
	5	20034
	6	

**MOUNTAIN VIEW ESTATES**

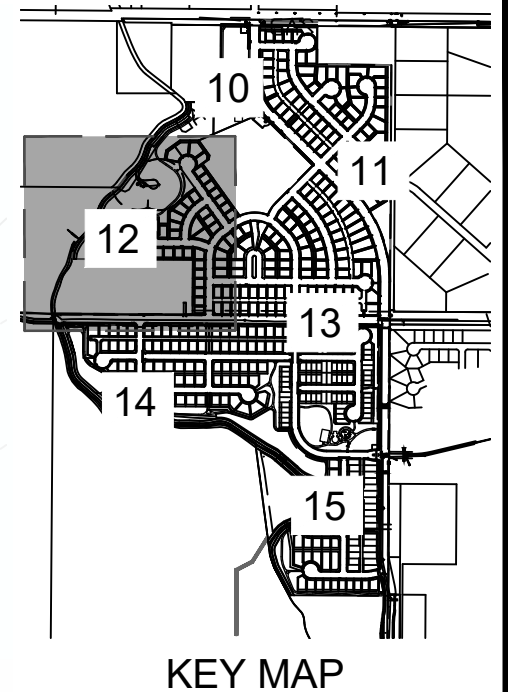
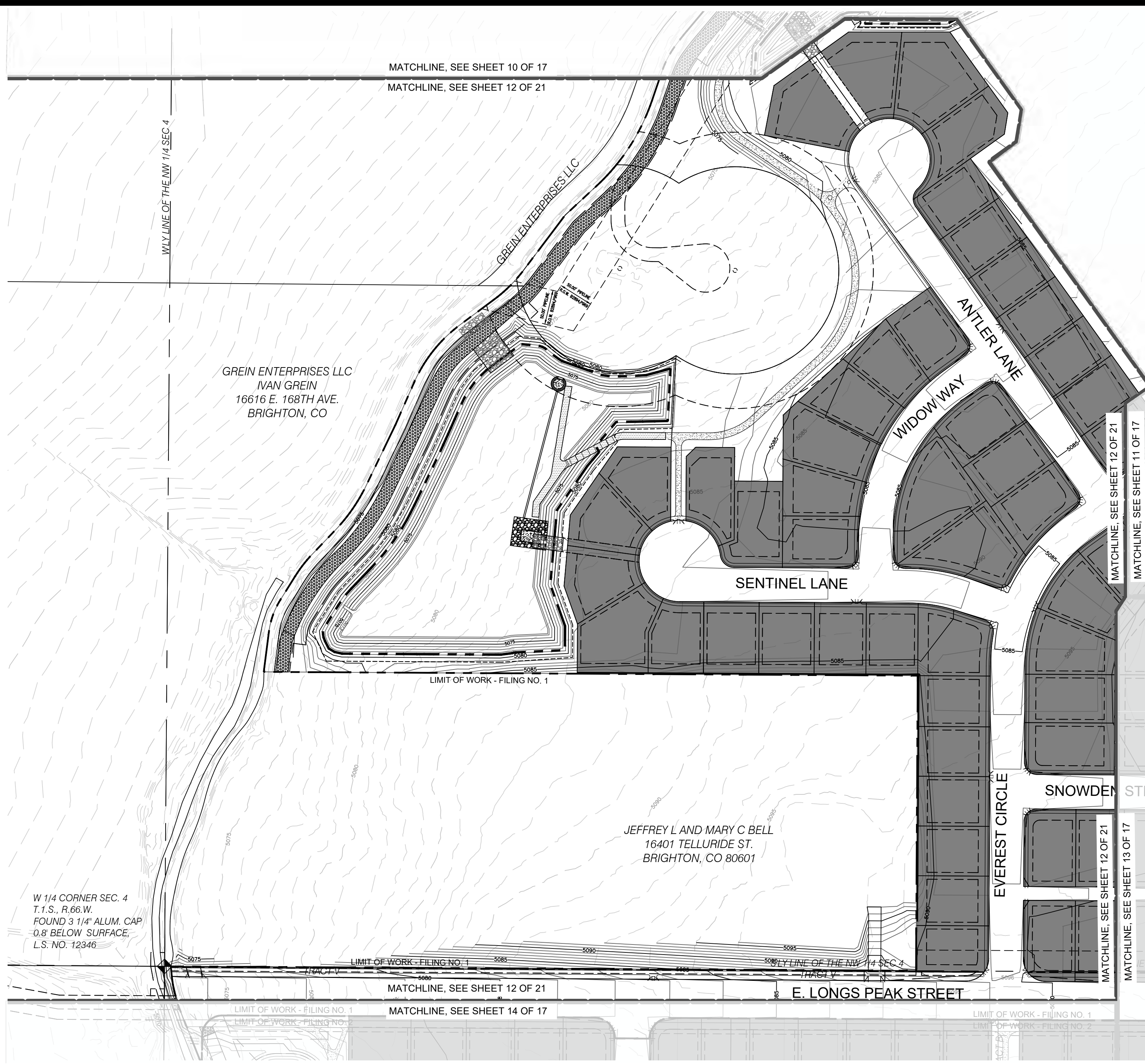
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**PLANNED DEVELOPMENT**

**REGULATING & DETAIL PLANS**

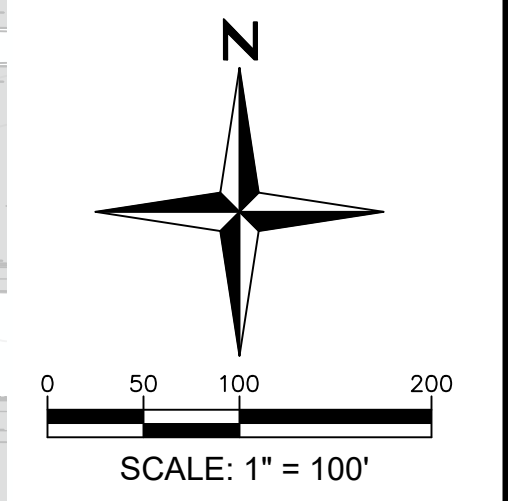
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**LEGEND**

- LIMIT OF WORK
- MATCHLINE
- ROW
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- LOT LINE
- LOT EASEMENT
- DETENTION POND
- LOT TYPE 1 - SFD
- ▨ LOT TYPE 2 - SFD & SFA



DATE	REVISION	DATE	REVISION
04/27/2021	1st Submittal	04/27/2021	JNK
	2nd Submittal		SMW
	3rd Submittal		SMW
	4th Submittal		SMW
	5th Submittal		20034
	6th Submittal		
			HORZ. SCALE
			VERT. SCALE

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11/19/2021	5	5th Submittal
12/03/2021	6	6th Submittal

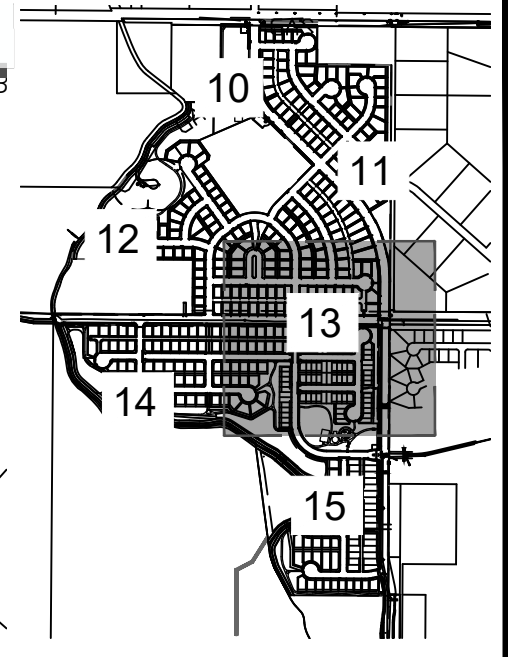
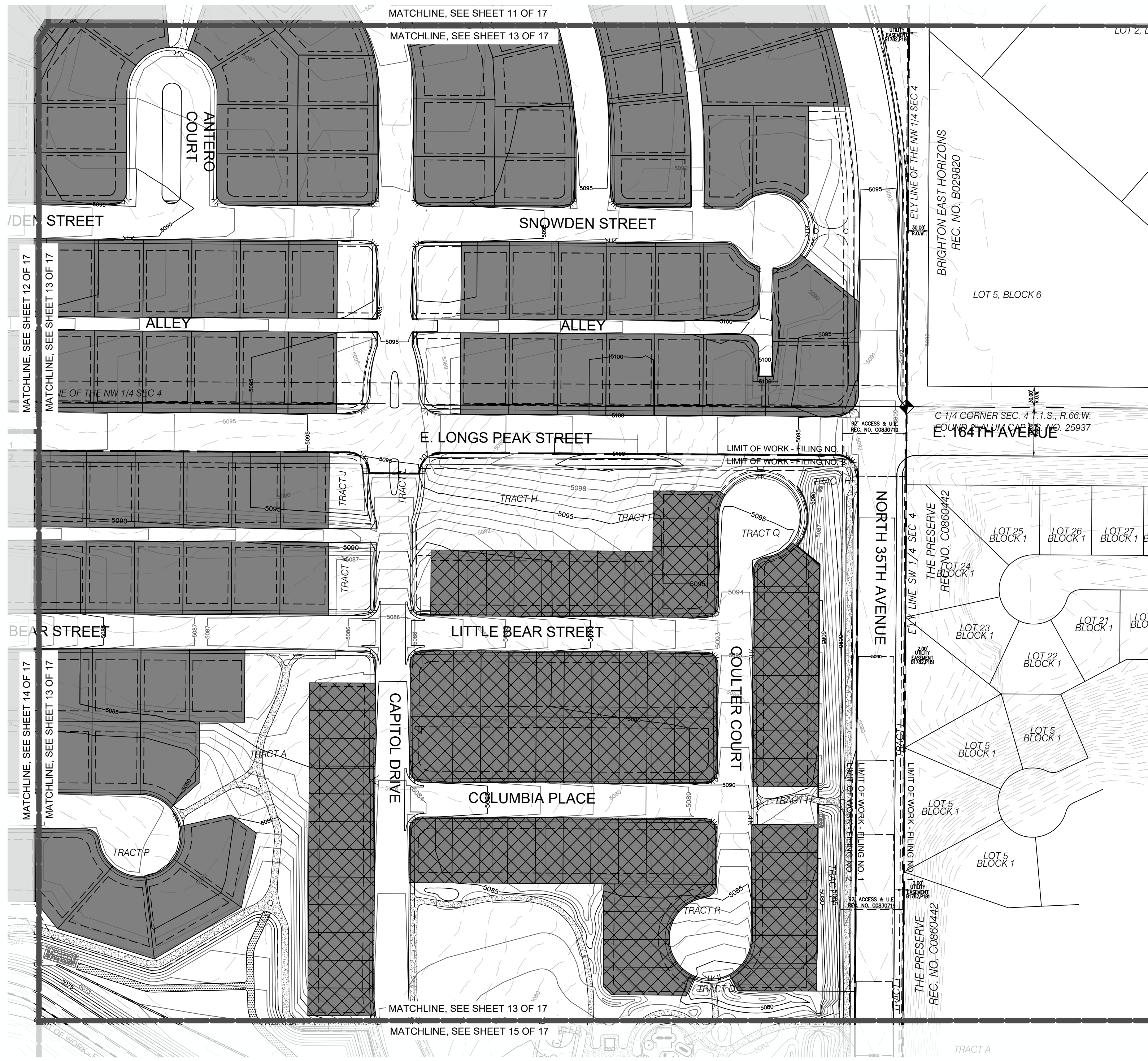
**MOUNTAIN VIEW ESTATES**

**PLANNED DEVELOPMENT**

**REGULATING & DETAIL PLANS**

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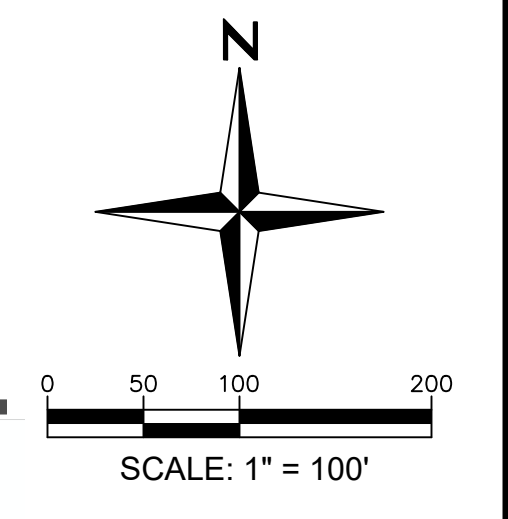
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KEY MAP

**LEGEND**

- LIMIT OF WORK
- MATCHLINE
- ROW
- EXISTING CONTOUR
- PROPOSED CONTOUR
- LOT LINE
- LOT EASEMENT
- DETENTION POND
- LOT TYPE 1 - SFD
- LOT TYPE 2 - SFD & SFA



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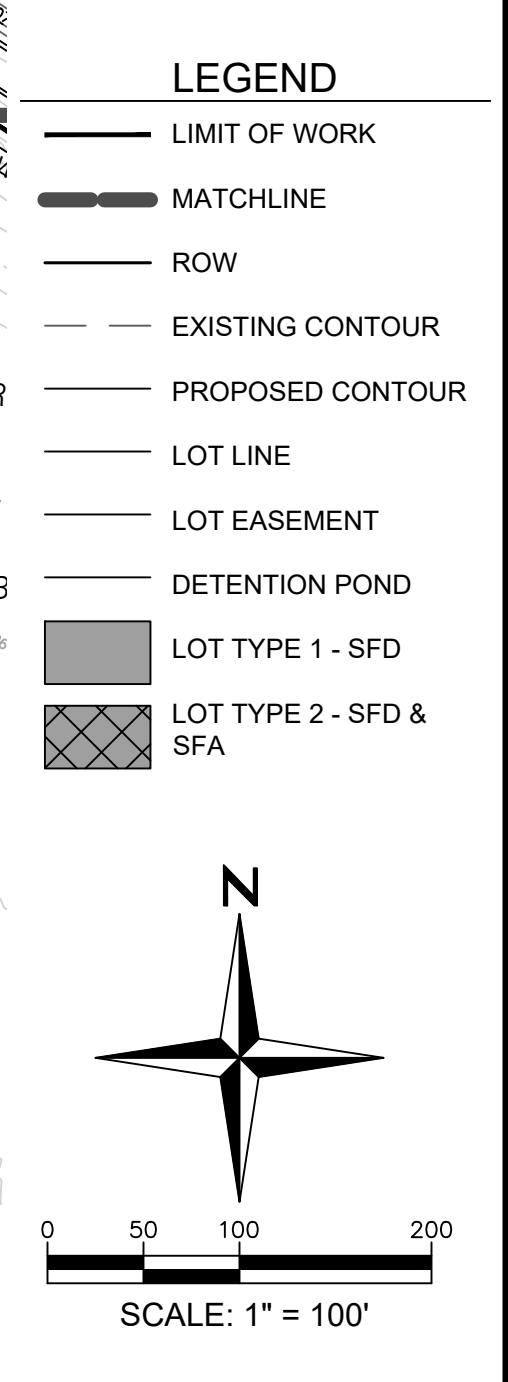
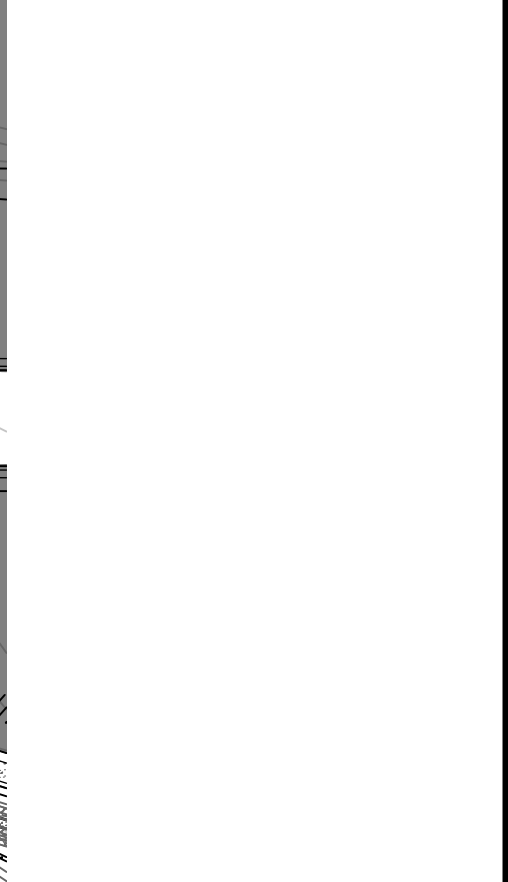
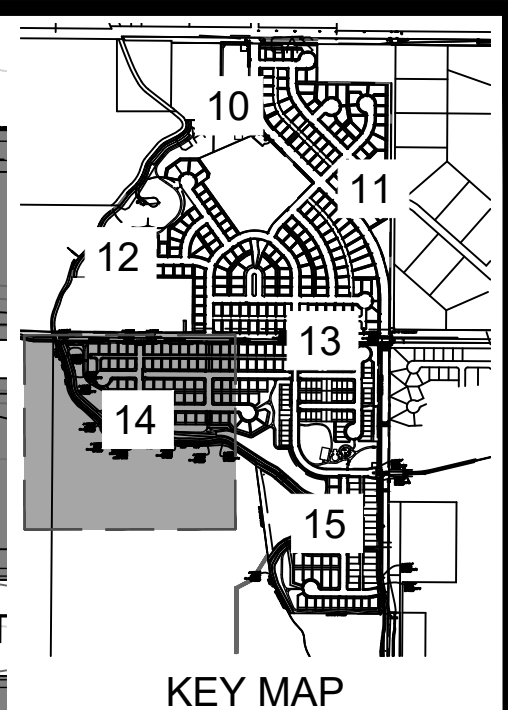
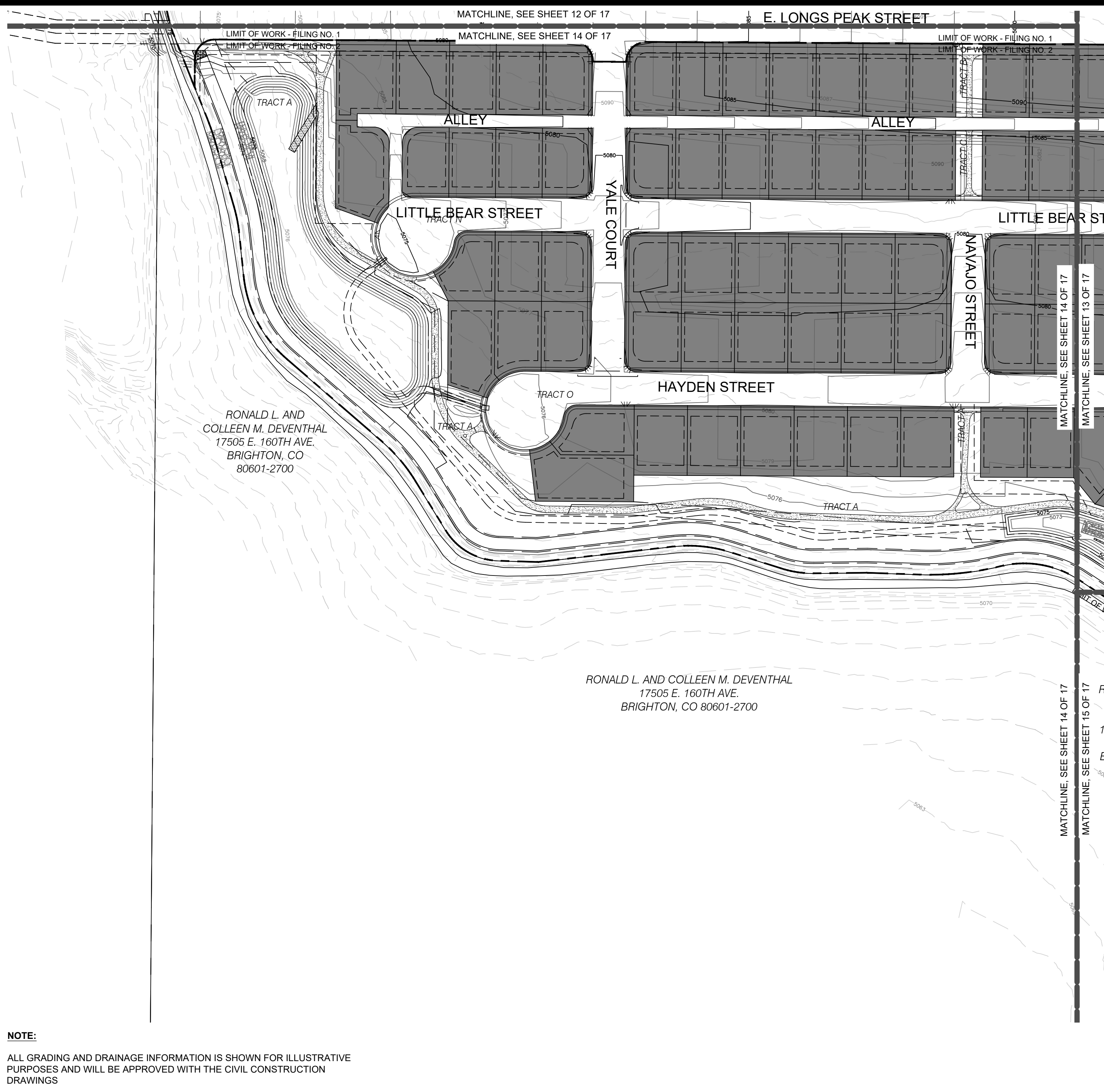


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CHECKED	SMW
APPROVED	SMW
PROJECT NO.	20034
HORIZ. SCALE	-
VERT. SCALE	-

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**MOUNTAIN VIEW ESTATES**  
**PLANNED DEVELOPMENT**  
**REGULATING & DETAIL PLANS**

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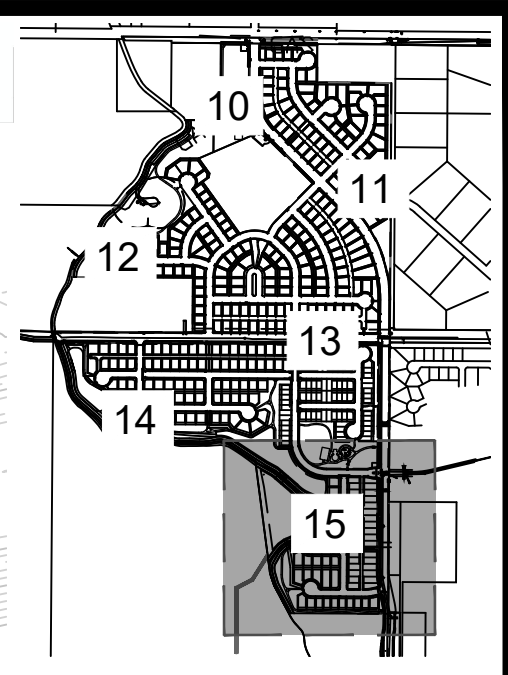
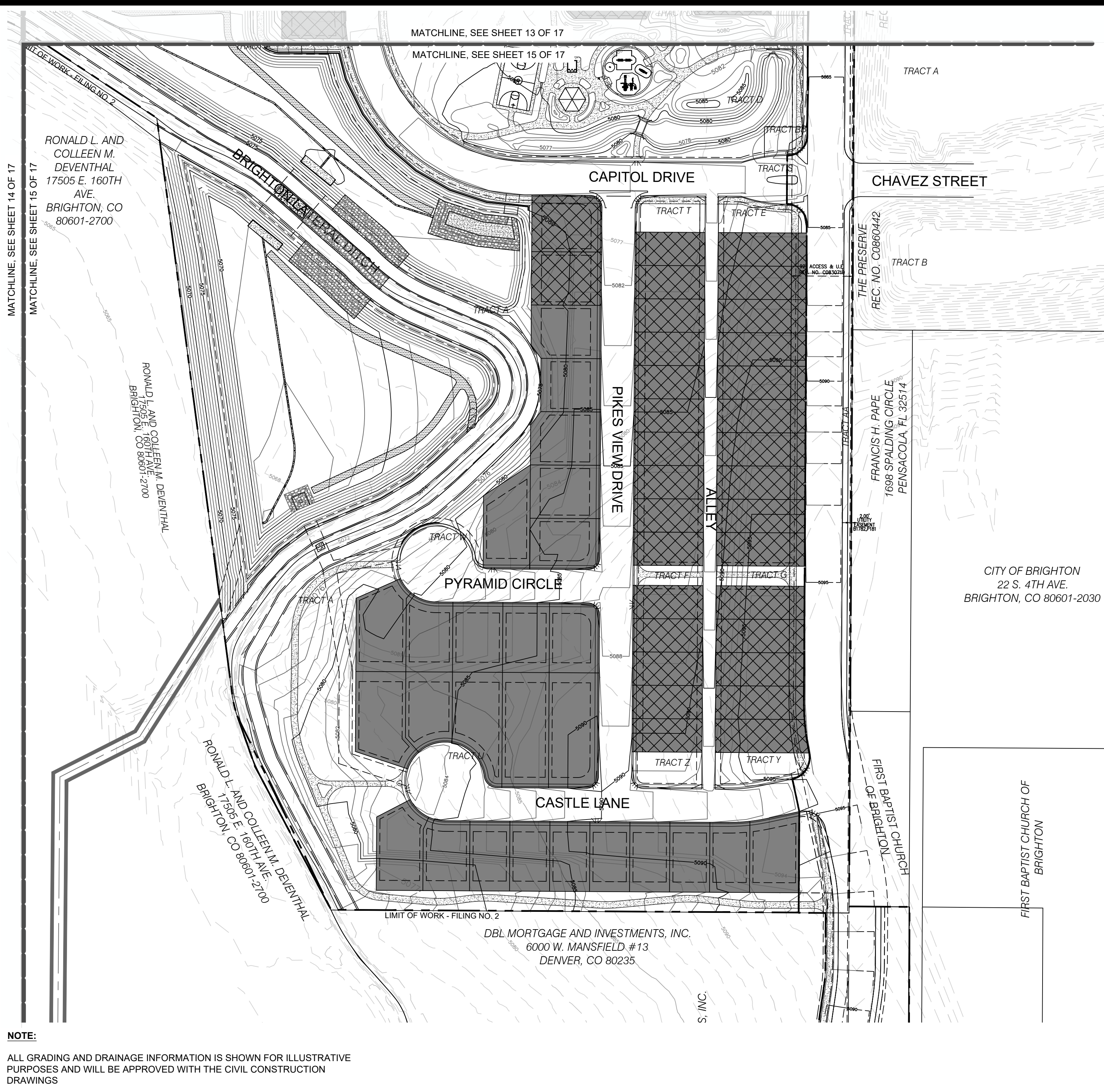
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VERT. SCALE	-

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5th Submittal	5	11.19.2021
6th Submittal	6	12.03.2021

<b>LEGEND</b>		
—	LIMIT OF WORK	
—	MATCHLINE	
—	ROW	
—	EXISTING CONTOUR	
—	PROPOSED CONTOUR	
—	LOT LINE	
—	LOT EASEMENT	
—	DETENTION POND	
■	LOT TYPE 1 - SFD	
■	LOT TYPE 2 - SFD & SFA	

**MOUNTAIN VIEW ESTATES**  
**PLANNED DEVELOPMENT**  
**REGULATING & DETAIL PLANS**

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MATCHLINE, SEE SHEET 14 OF 17  
 MATCHLINE, SEE SHEET 15 OF 17

RONALD L. AND COLLEEN M. DEVENTHAL  
 17505 E. 160TH AVE.  
 BRIGHTON, CO 80601-2700

RONALD L. AND COLLEEN M. DEVENTHAL  
 17505 E. 160TH AVE.  
 BRIGHTON, CO 80601-2700

RONALD L. AND COLLEEN M. DEVENTHAL  
 17505 E. 160TH AVE.  
 BRIGHTON, CO 80601-2700

DBL MORTGAGE AND INVESTMENTS, INC.  
 6000 W. MANSFIELD #13  
 DENVER, CO 80235

CITY OF BRIGHTON  
 22 S. 4TH AVE.  
 BRIGHTON, CO 80601-2030

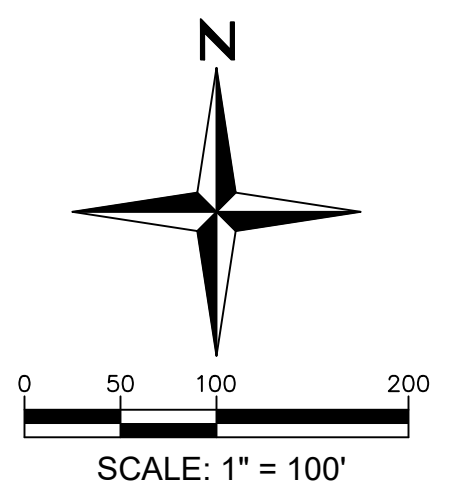
THE PRESERVE  
 REC. NO. C0860442


FRANCIS H. PAPE  
 1698 SPALDING CIRCLE  
 PENSACOLA, FL 32514

**NOTE:**  
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**LEGEND**

- LIMIT OF WORK
- MATCHLINE
- ROW
- - - EXISTING CONTOUR
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10.12.2021	4	4th Submittal		SMW	
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12.03.2021	6	6th Submittal		SMW	

## MOUNTAIN VIEW ESTATES

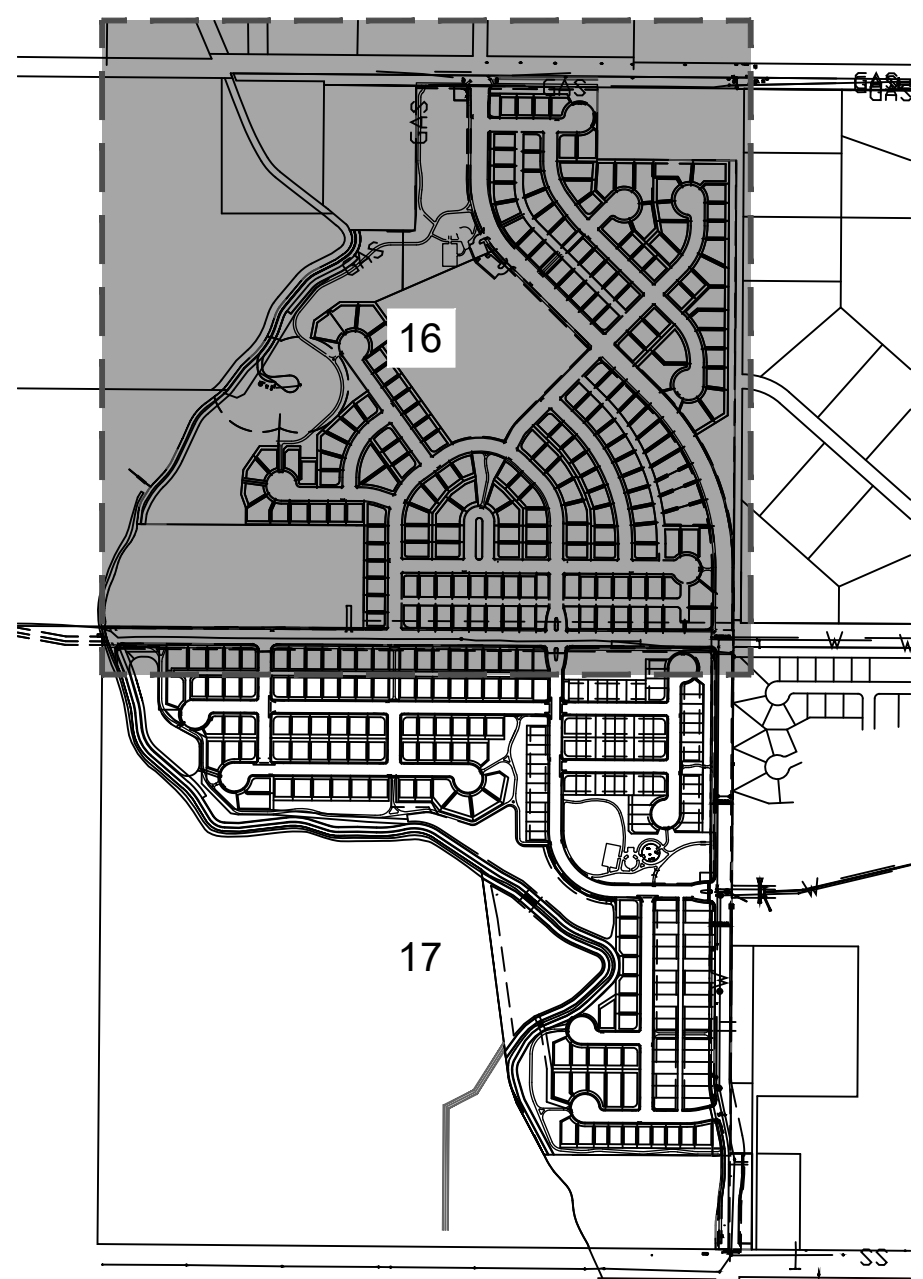
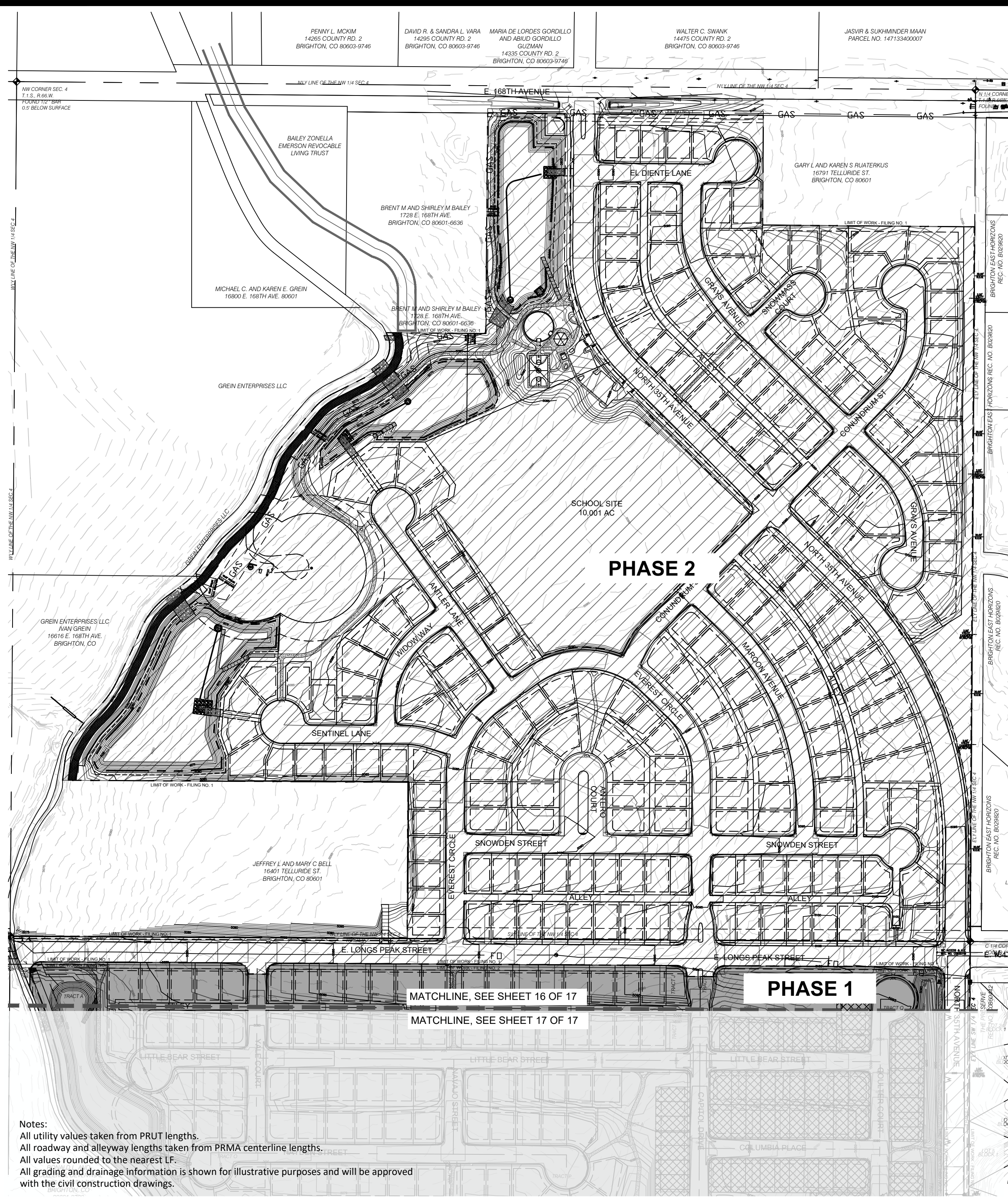
# PLANNED DEVELOPMENT

### REGULATING & DETAIL PLANS

SHEET

# 15 OF 21

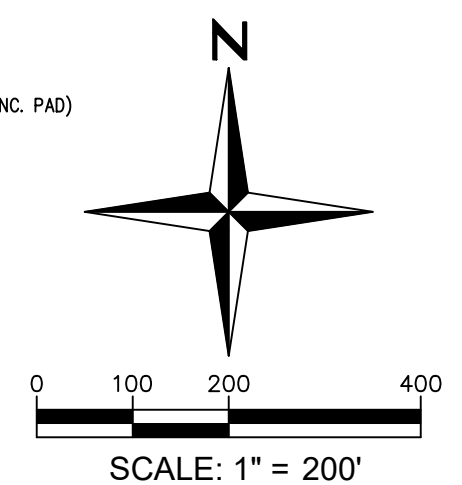
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Mountain View Estates - Phasing Chart

	PHASE 1	PHASE 2
<b>ACREAGE</b>	97.635	69.909
<b>LOTS &amp; STRUCTURES</b>	194 Lots 1 Structure	216 Lots 1 Structure
<b>PUBLIC INFRASTRUCTURE (LF)</b>		
ROADWAY	8337	17519
ALLEYWAY	2671	3336
WATER PIPELINE	10716	21195
SANITARY SEWER PIPELINE	8683	17169
STORM SEWER PIPELINE	1980	3320
STORM OUTFALL PIPELINE	798	0
<b>PRIVATE INFRASTRUCTURE (LF)</b>	0	0
<b>LANDSCAPE (SF)</b>	1179387	976747
<b>LIGHTING</b>	26	52

- UTILITY LEGEND**
- GAS LINE MARKER
  - GAS VALVE
  - UTILITY POLE GUY/ANCHOR
  - UTILITY POLE
  - ELECTRIC TRANSFORMER PEDESTAL (RECTANGLE IS CONC. PAD)
  - ELECTRIC MARKER
  - FIBER OPTIC BOX/MARKER
  - TELEPHONE MANHOLE
  - TELEPHONE RISER
  - CABLE TV RISER



**Notes:**  
 All utility values taken from PRUT lengths.  
 All roadway and alleyway lengths taken from PRMA centerline lengths.  
 All values rounded to the nearest LF.  
 All grading and drainage information is shown for illustrative purposes and will be approved with the civil construction drawings.



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04/27/2021	JNK	1	04/27/2021	1st Submittal	04/27/2021	1	04/27/2021	1	04/27/2021	1
	SMW	2	07/13/2021	2nd Submittal	07/13/2021	2	07/13/2021	2	07/13/2021	2
	SMW	3	08/24/2021	3rd Submittal	08/24/2021	3	08/24/2021	3	08/24/2021	3
	SMW	4	10/12/2021	4th Submittal	10/12/2021	4	10/12/2021	4	10/12/2021	4
	SMW	5	11/19/2021	5th Submittal	11/19/2021	5	11/19/2021	5	11/19/2021	5
	SMW	6	12/03/2021	6th Submittal	12/03/2021	6	12/03/2021	6	12/03/2021	6

# MOUNTAIN VIEW ESTATES

# PLANNED DEVELOPMENT

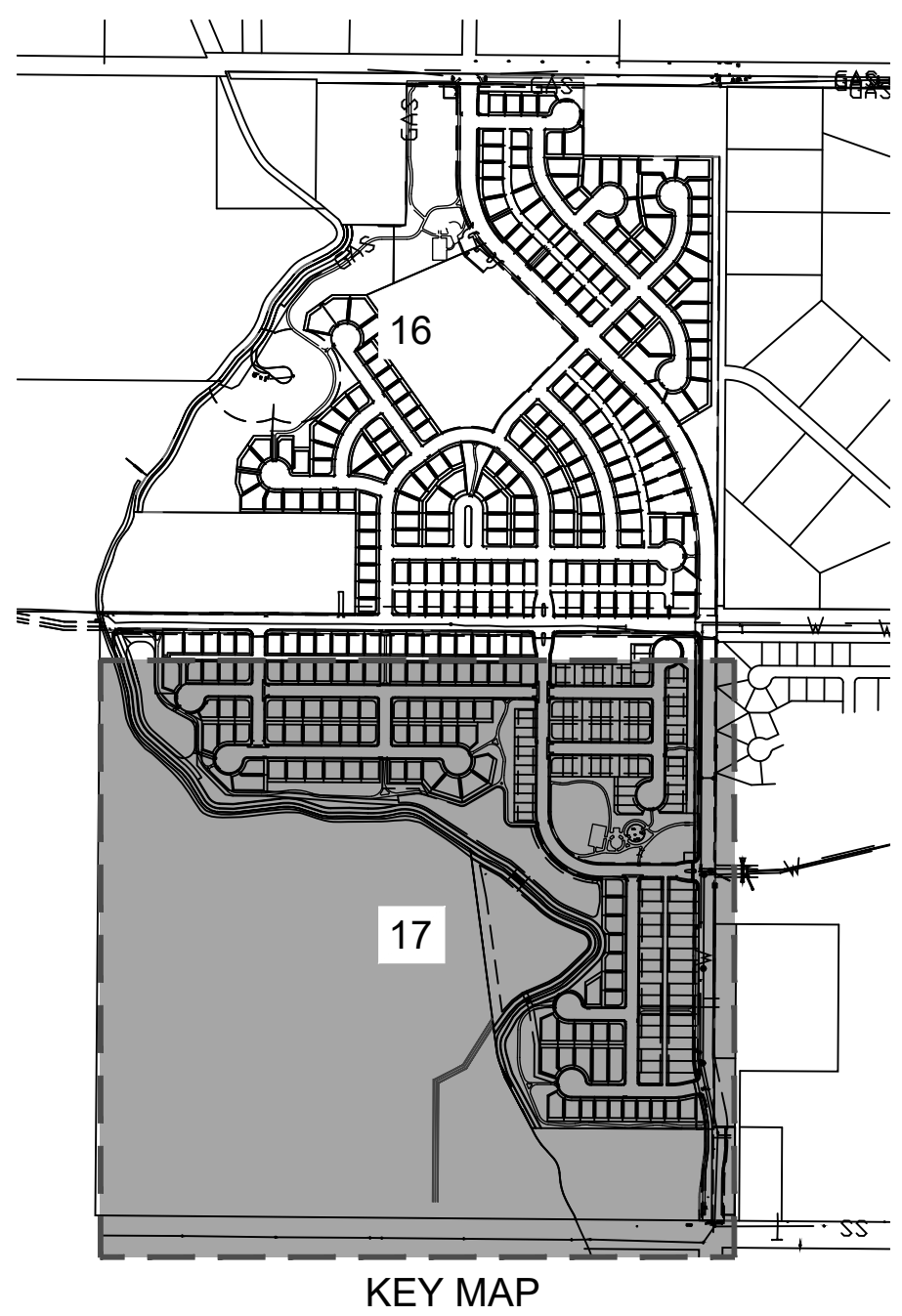
## PHASING PLAN

SHEET

# 16 OF 21



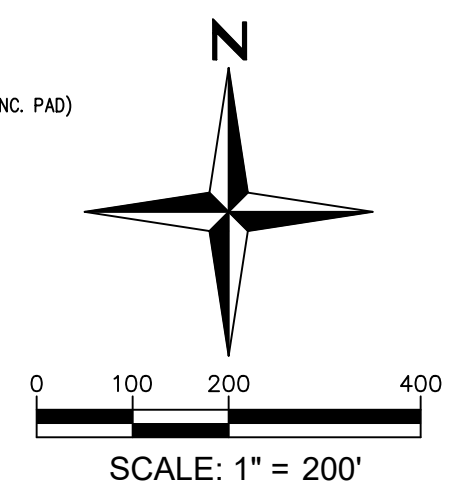
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Mountain View Estates - Phasing Chart

	PHASE 1	PHASE 2
<b>ACREAGE</b>	97.635	69.909
<b>LOTS &amp; STRUCTURES</b>	194 Lots 1 Structure	216 Lots 1 Structure
<b>PUBLIC INFRASTRUCTURE (LF)</b>		
ROADWAY	8337	17519
ALLEYWAY	2671	3336
WATER PIPELINE	10716	21195
SANITARY SEWER PIPELINE	8683	17169
STORM SEWER PIPELINE	1980	3320
STORM OUTFALL PIPELINE	798	0
<b>PRIVATE INFRASTRUCTURE (LF)</b>	0	0
<b>LANDSCAPE (SF)</b>	1179387	976747
<b>LIGHTING</b>	26	52

- UTILITY LEGEND**
- GAS LINE MARKER
  - GAS VALVE
  - UTILITY POLE GUY/ANCHOR
  - UTILITY POLE
  - ELECTRIC TRANSFORMER PEDESTAL (RECTANGLE IS CONC. PAD)
  - ELECTRIC MARKER
  - FIBER OPTIC BOX/MARKER
  - TELEPHONE MANHOLE
  - TELEPHONE RISER
  - CABLE TV RISER



**Notes:**  
 All utility values taken from PRUT lengths.  
 All roadway and alleyway lengths taken from PRMA centerline lengths.  
 All values rounded to the nearest LF.  
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CHECKED	SMW
APPROVED	SMW
PROJECT NO.	20034
HORZ. SCALE	-
VERT. SCALE	-

REVISION	NO.	DATE
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6th Submittal	6	12.03.2021

**MOUNTAIN VIEW ESTATES**  
**PLANNED DEVELOPMENT**  
**PHASING PLAN**

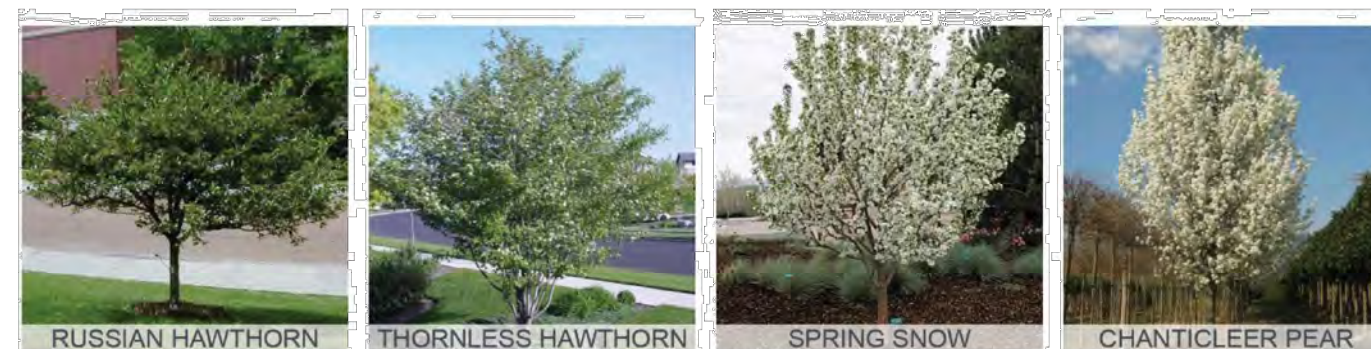
## OVERSTORY PLANT LIST

IN THE INTEREST OF FURTHERING THE CITY OF BRIGHTON'S SUSTAINABILITY GOALS, THIS ADDENDUM TO THE PLANNED DEVELOPMENT PLAN FOR MOUNTAIN VIEW ESTATES FILING NO. 1 & 2 (DATED 04-27-2021) DOCUMENTS THE PROPOSED XERIC PLANT LIST FOR ON-LOT PLANTING. PLANT MATERIAL OR SUBSTITUTIONS PROPOSED AT THE TIME OF CONSTRUCTION OR NOT LISTED HEREIN SHALL BE APPROVED THROUGH AN OUTSIDE REVIEW PROCESS PRIOR TO INSTALLATION. PLEASE REFER TO THE PLANNED DEVELOPMENT PLAN SHEETS FOR ADDITIONAL PLANTING REQUIREMENTS AND DESIGN STANDARDS.

Deciduous Trees				
Botanic Name	Common Name	Water Requirement	Zone	Brighton Approved
<i>Acer tataricum</i>	Hotwings Maple			
<i>Catalpa speciosa</i>	Catalpa	Xeric	Xeric	Yes (A)
<i>Celtis occidentalis</i>	Hackberry	Xeric	Xeric	Yes (A)
<i>Gleditsia triacanthos 'Skyline'</i>	Skyline Honeylocust	Xeric	Xeric	Yes (A)
<i>Gleditsia triacanthos inermis 'Shademaster'</i>	Shademaster Honeylocust	Xeric	Xeric	Yes (A)
<i>Gleditsia triacanthos inermis 'Sunburst'</i>	Sunburst Honeylocust	Xeric	Xeric	Not Listed
<i>Gymnocladus dioicus</i>	Kentucky Coffee Tree	Xeric	Xeric	Yes (A)
<i>Quercus macrocarpa</i>	Bur Oak	Xeric	Xeric	Yes (A)
<i>Quercus muehlenbergii</i>	Chinkpin Oak			
<i>Quercus robur</i>	English Oak	Xeric	Xeric	Yes (A)
<i>Sophora japonica</i>	Japanese Pagoda Tree	Xeric	Xeric	Yes (B)
<i>Ulmus 'Accolade'</i>	Accolade Elm			
<i>Ulmus davidiana 'Choice City'</i>	Choice City Elm			



Ornamental Trees				
Botanic Name	Common Name	Water Requirement	Zone	Brighton Approved
<i>Amelanchier x grandiflora</i>	Serviceberry Autumn Brilliance	Xeric	Xeric	Not Listed
<i>Crateagus crusgallis 'Inermis'</i>	Thornless Cockspur Hawthorn	Xeric	Xeric	Not Listed
<i>Syringa reticulata</i>	Japanese Tree Lilac	Low	Low	Yes (B)
<i>Prunus virginiana 'Sucker Punch'</i>	Suckerpunch Canadian ChokeCherry			
<i>Pyrus ussuriensis</i>	Ussurian Pear	Low	Low	Yes (A)



Evergreen Trees				
Botanic Name	Common Name	Water Requirement	Zone	Brighton Approved
<i>Juniperus chinensis</i>	Upright Juniper	Xeric	Xeric	Yes (A)
<i>Juniperus chinensis 'Blue Point'</i>	Blue Point Juniper	Xeric	Xeric	Yes
<i>Juniperus chinensis 'Wichita Blue'</i>	Wichita Blue Juniper	Xeric	Xeric	Yes
<i>Pinus edulis</i>	Pinyon Pine	Xeric	Xeric	Not Listed
<i>Pinus heldreichii</i> spp.	Bosnian Pine			
<i>Pinus nigra</i>	Austrian Pine	Xeric	Xeric	Yes (A)
<i>Pinus mugo pumilio</i>	Mugo Pine	Xeric	Xeric	Yes (A)



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12.03.2021	6	6th Submittal

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04/27/2021	JNK	SMW	SMW	20034		

MOUNTAIN VIEW ESTATES  
 PLANNED DEVELOPMENT  
 ADDENDUM NO. 2 - XERIC PLANT LIST

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## UNDERSTORY PLANT LIST

Perennials & Groundcovers				
Botanic Name	Common Name	Water Requirement	Zone	Brighton Approved
Achillea 'Moonshine'	Moonshine Yarrow			
Berlandiera lyrata	Chocolate Flower			
Callirhoe involucrata	Prairie Winecups			
Campanula carpatica 'Blue Chip'	Blueclip Harebell	Xeric	Xeric	Not Listed
Centranthus ruber 'Albus'	Red Valerian	Xeric	Xeric	Not Listed
Cerastium tomentosum	Snow in Summer			
Coreopsis verticillata 'Moonbeam'	Moonbeam Coreopsis	Xeric	Xeric	Yes
Echinacea purpurea	Purple Coneflower	Xeric	Xeric	Yes
Hemerocallis Stella D'Oro	Stella D'Oro Daylily	Xeric	Xeric	Yes
Kniphofia species	Torch Lily			
Liatris spicata	Gayfeather	Xeric	Xeric	Not Listed
Linum lewisii	Blue Flax			
Nepta fassenii 'Walker's Low'	Walker's Low Catmint	Xeric	Xeric	Yes
Penstemon strictus	Rocky Mountain Penstemon	Xeric	Xeric	Yes
Salvia x sylvestris 'May Night'	May Night Salvia			
Sedum 'Autumn Joy'	Autumn Joy Sedum	Xeric	Xeric	Yes



Evergreen Shrubs				
Botanic Name	Common Name	Water Requirement	Zone	Brighton Approved
Hesperaloe parviflora	Red False Yucca			
Juniperus communis 'Effusa'	Effusa Juniper	Xeric	Xeric	Yes
Juniperus horizontalis 'Monber'	Icee Blue Juniper	Xeric	Xeric	Yes
Juniperus sabina 'Tamariscifolia'	Tammy Juniper	Xeric	Xeric	Yes
Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	Xeric	Xeric	Yes
Juniperus x media 'Sea Green'	Sea Green Juniper	Xeric	Xeric	Yes



Deciduous Shrubs				
Botanic Name	Common Name	Water Requirement	Zone	Brighton Approved
Amelanchier alnifolia	Saskatoon Serviceberry	Xeric	Xeric	Yes
Amelanchier alnifolia 'Regent'	Regent Serviceberry	Xeric	Xeric	Yes
Amorpha canescens	Leadplant			
Arctostaphylos x coloradoensis	Panchito Manzanita			
Artemisia schmidtiana	Silvermound Sage			
Baptista australis	False Indigo			
Caryopteris x clandonensis	Blue Mist Spirea	Xeric	Xeric	Yes
Chamaebatiaria millefolium	Fernbush			
Chrysothamnus var.	Dwarf Rabbitbrush	Xeric	Xeric	Not Listed
Fallugia paradoxa	Apacheplume			
Forestiera neomexicana	New Mexico Privet	Xeric	Xeric	Yes
Holodiscus dumosus	Rock Spirea	Xeric	Xeric	Not Listed
Perovskia artiplicifolia 'Little Spire'	Dwarf Russian Sage	Xeric	Xeric	Not Listed
Philadelphus lewisii 'Cheyenne'	Cheyenne Mockorange	Xeric-Moderate	Xeric	Yes
Physocarpus spp.	Ninebark Species			
Potentilla spp.	Potentilla Species			
Prunus bessyi 'Pawnee Buttes'	Pawnee Buttes Sand Cherry	Xeric	Xeric	Yes
Prunus virginiana 'Shubert'	Shubert Chokecherry	Xeric	Xeric	Not Listed
Ribes aurem	Golden Currant	Xeric	Xeric	Yes
Rhus aromatica	Fragrant Sumac	Xeric	Xeric	Not Listed
Syringa patula 'Miss Kim'	Miss Kim Lilac	Xeric	Xeric	Yes
Viburnum lantana 'Mohican'	Mohican Viburnum	Xeric	Xeric	Yes



Ornamental Grasses				
Botanic Name	Common Name	Water Requirement	Zone	Brighton Approved
Calamagrostis arundinacea 'Karl Forester'	Feather Reed Grass	Low	Low	Yes
Festuca Glauca 'Boulder Blue'	Blue Fescue			
Helictotrichon sempervirens	Blue Oat Grass			
Miscanthus sinensis 'Yaku Jima'	Dwarf Maidengrass	Low	Low	Yes
Panicum virgatum spp.	Switchgrass Species			
Panicum Virgatum 'Shenandoah'	Shenandoah Switchgrass			
Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	Xeric	Xeric	Yes
Schizachyrium scoparium	Little Bluestem	Xeric	Xeric	Yes



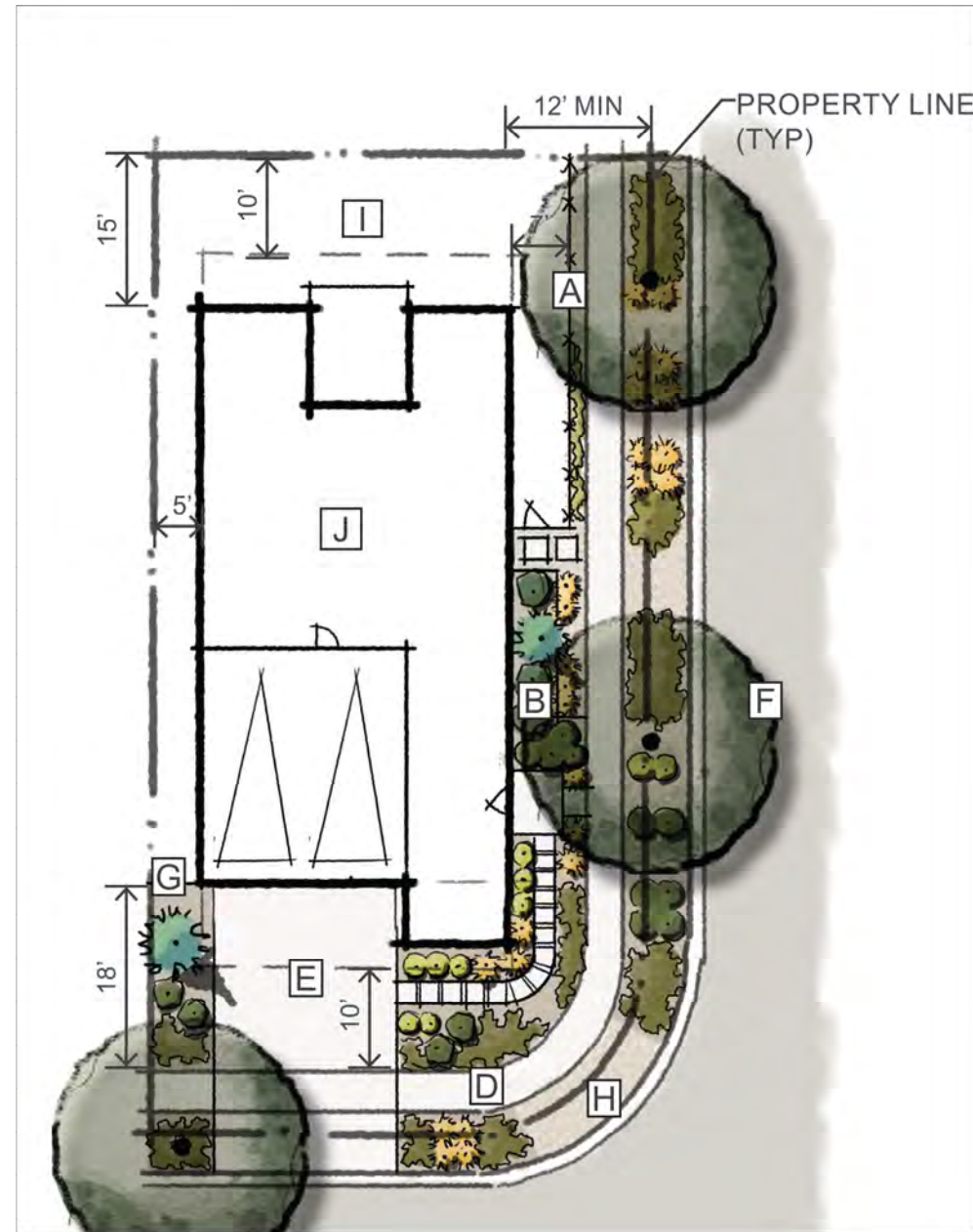
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MOUNTAIN VIEW ESTATES  
PLANNED DEVELOPMENT  
ADDENDUM NO. 2 - XERIC PLANT LIST

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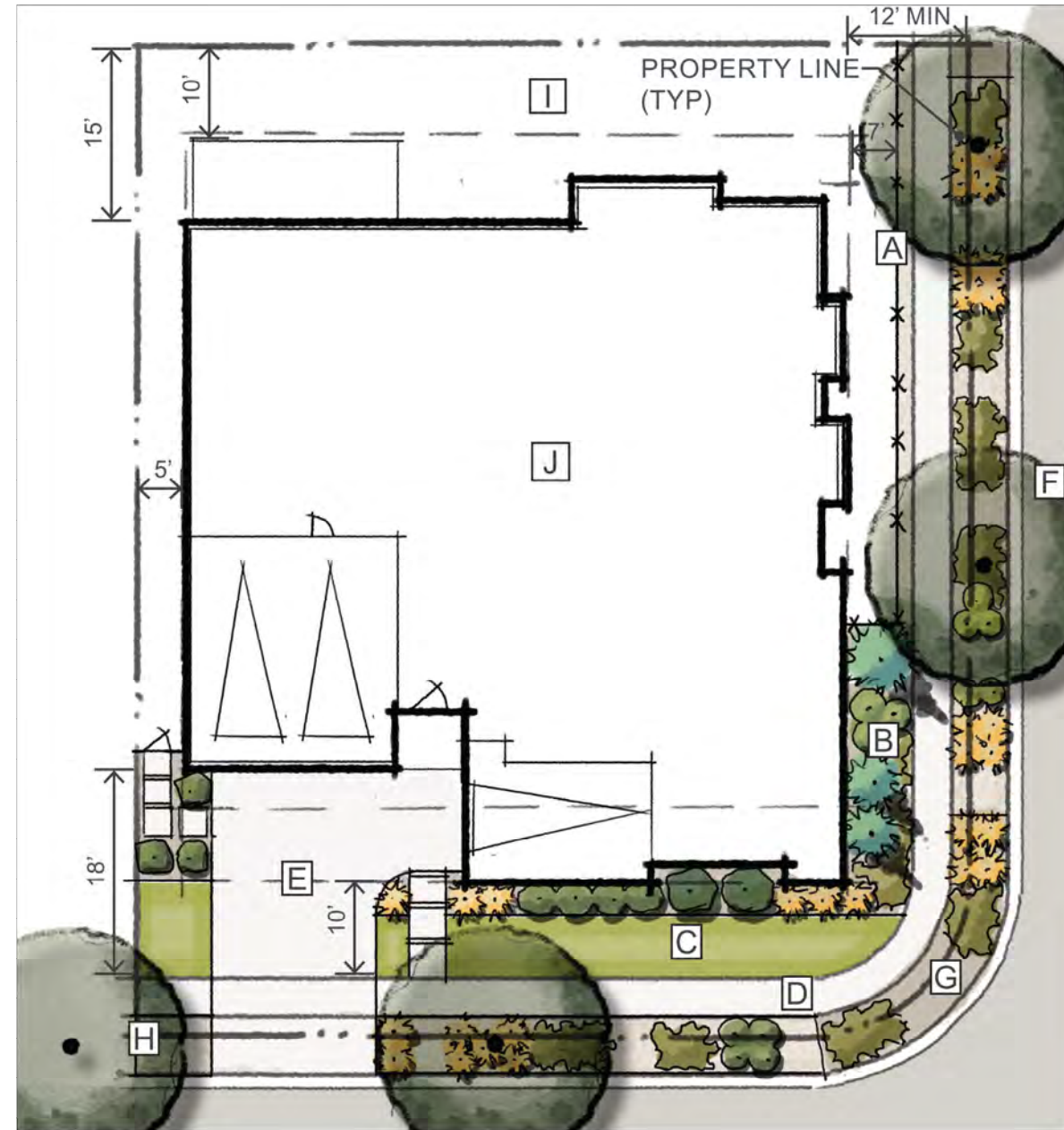
SINGLE FAMILY FRONT LOADED SMALL LOT



LANDSCAPE COVERAGE- SMALL LOT

ITEM	SF	TOTAL SF	PERCENT
IRRIGATED TURF	0	0	0%
ROCK MULCH	575	1,189	48.4%
SHRUB COVERAGE	918	1,189	77.2%

SINGLE FAMILY FRONT LOADED MED-LARGE LOT



LANDSCAPE COVERAGE- MED-LARGE LOT

ITEM	SF	TOTAL SF	PERCENT
IRRIGATED TURF	427	1,904	22.4%
ROCK MULCH	833	1,904	43.8%
SHRUB COVERAGE	1,096	1,904	57.6%



LEGEND

- [A] Fencing
- [B] Shrub Bed
- [C] Irrigated Turf
- [D] Walk
- [E] Driveway Apron
- [F] Public Street
- [G] Wood Mulch
- [H] Decorative Rock Mulch
- [I] Rear and Side Yards (Not Included)
- [J] Building Footprint (Included for illustrative purposes only, final footprints to vary based on developer and product.)

NOTES

ALL BUILDERS TO SUBMIT FINAL RESIDENTIAL ON-LOT LANDSCAPE PLANS (WITH IRRIGATION) TO RDS FOR APPROVAL PRIOR TO CONSTRUCTION.



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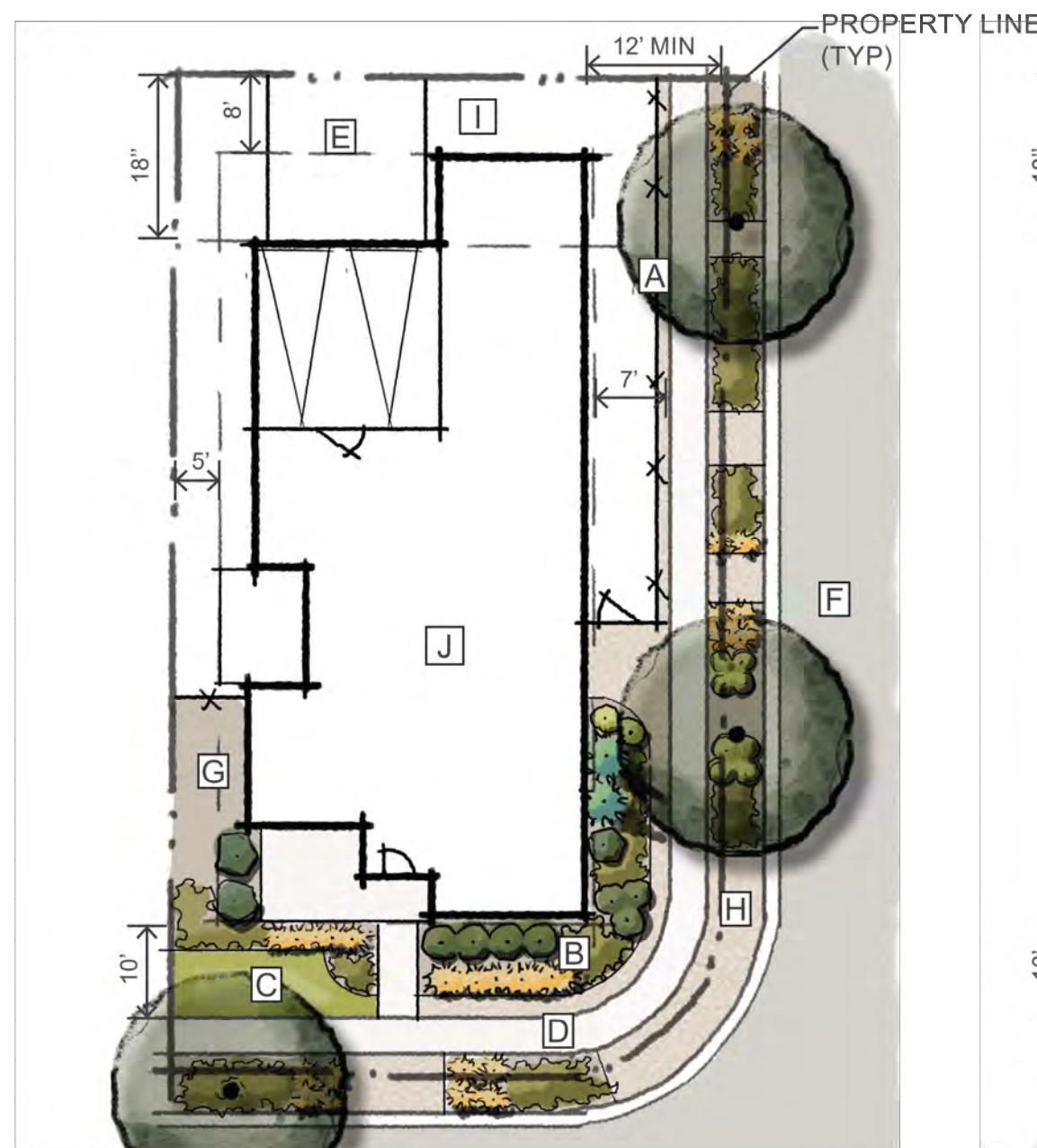
  

DRAWN	CHECKED	APPROVED	PROJECT NO.	HORZ. SCALE	VERT. SCALE
JNK	SMW	SMW	20034		

**MOUNTAIN VIEW ESTATES**  
**PLANNED DEVELOPMENT**  
**ADDENDUM NO. 3 - ON LOT TYPICALS**

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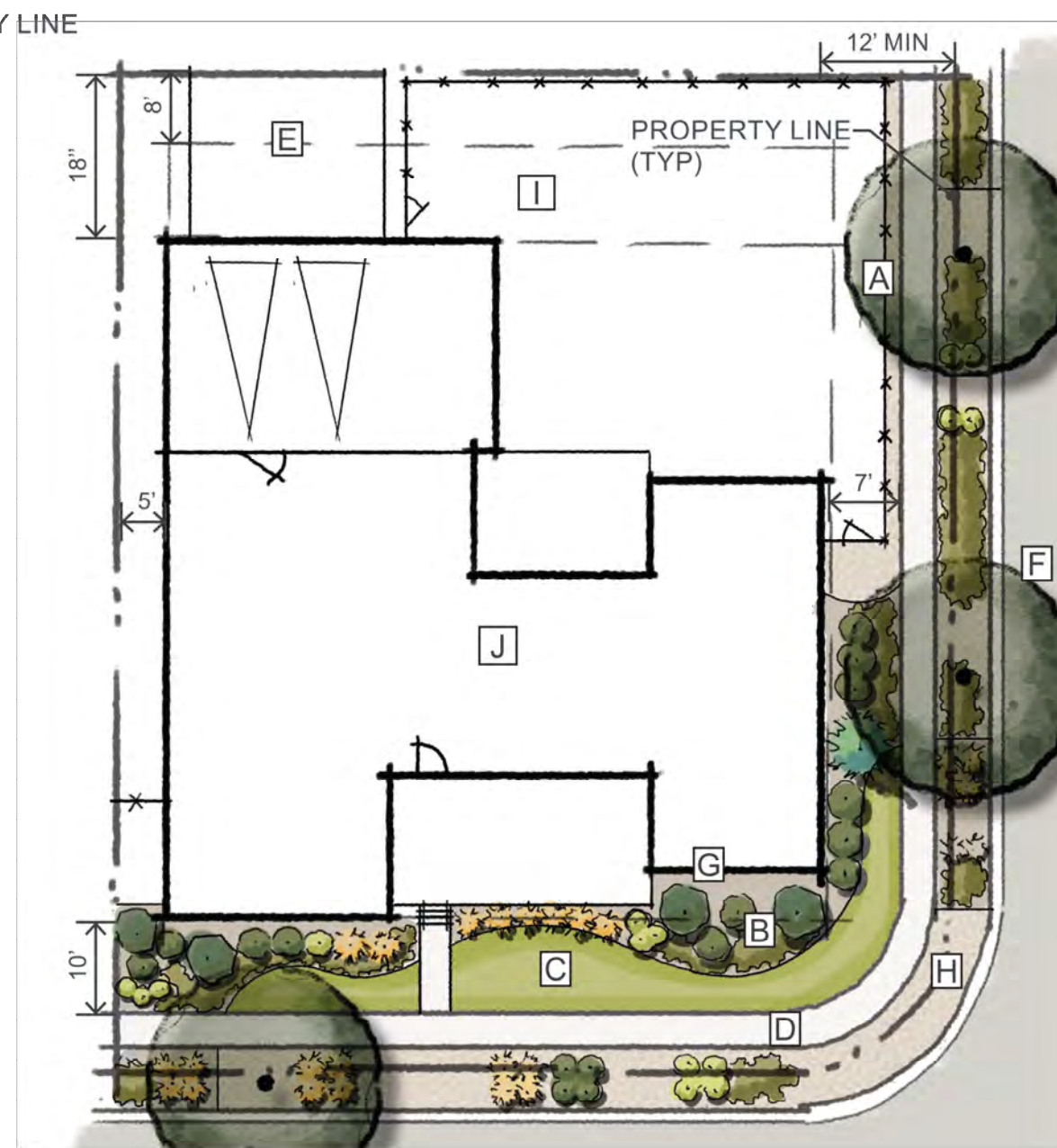
SINGLE FAMILY ALLEY LOADED SMALL LOT



LANDSCAPE COVERAGE- SMALL LOT

ITEM	SF	TOTAL SF	PERCENT
IRRIGATED TURF	126	1,796	7%
ROCK MULCH	550	1,796	30.6%
SHRUB COVERAGE	1,005	1,796	56%

SINGLE FAMILY ALLEY LOADED MED-LARGE LOT



LANDSCAPE COVERAGE- MED-LARGE LOT

ITEM	SF	TOTAL SF	PERCENT
IRRIGATED TURF	472	2,192	21.5%
ROCK MULCH	970	2,192	44.3%
SHRUB COVERAGE	1,295	2,192	59.1%



LEGEND

- [A] Fencing
- [B] Shrub Bed
- [C] Irrigated Turf
- [D] Walk
- [E] Driveway Apron
- [F] Public Street
- [G] Wood Mulch
- [H] Decorative Rock Mulch
- [I] Rear and Side Yards (Not Included)
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**MOUNTAIN VIEW ESTATES**  
**PLANNED DEVELOPMENT**  
**ADDENDUM NO. 3 - ON LOT TYPICALS**