

I:\JOB FOLDERS\058\058-07\PROD\SUBDIVISION PLANS\COVER PRINTED ON: 3/18/2025 3:49 PM

MIRASOL SUBDIVISION PLAN

PART OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 66
WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF BRIGHTON, COUNTY OF ADAMS,
STATE OF COLORADO



VICINITY MAP
1"=2000'

OWNER	CIVIL ENGINEER	LANDSCAPE ARCHITECT	SURVEYOR
CARLSON ASSOCIATES, INC. P.O. BOX 247 EAST LAKE, CO 80614 CONTACT: RYAN CARLSON	LJA, INC. 1765 WEST 121ST STREET, SUITE 300 WESTMINSTER, COLORADO 80234 PHONE: 303-421-4224 CONTACT: KEVIN LOVELACE	SEVEN29 DESIGN 5856 S. LOWELL BLVD., UNIT32 #260 LITTLETON, COLORADO 80123 PHONE: 303-883-3278 CONTACT: CHRIS MARCH	LJA, INC. 1765 WEST 121ST STREET, SUITE 300 WESTMINSTER, COLORADO 80234 PHONE: 303-421-4224 CONTACT: MARK HALL

AGENCIES

CITY OF BRIGHTON
500 S 4TH AVE
BRIGHTON, CO 80614
PHONE: 303-655-2051
CONTACT: EMMA LANE

OWNER SIGNATURE BLOCK

BY SIGNING THIS SUBDIVISION PLAN, THE OWNER ACKNOWLEDGES AND ACCEPTS ALL THE REQUIREMENTS AND INTENT,
FOR THOSE PARCEL(S) OWNED BY OWNER, AS SET FORTH IN THIS SUBDIVISION PLAN. . WITNESS MY/OUR HAND(S) SEAL(S)
THIS _____ DAY OF _____, 20____.

LANTERNS CFC LLC
CLAY CARLSON, MANAGER

LANTERNS CFC LLC
SCOTT CARLSON, MANAGER

LANTERNS CFC LLC
KENT CARLSON, MANAGER

LANTERNS CFC LLC
RYAN CARLSON, MANAGER

STATE OF COLORADO }
COUNTY OF ADAMS } ss.

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ A.D., _____ BY _____ (NAME)

MY COMMISSION EXPIRES: _____

WITNESS MY HAND AND OFFICIAL SEAL: _____
NOTARY PUBLIC

Sheet List Table

Sheet No.	Sheet Title
1	Cover Sheet
2	Developer Contributions
3	Existing Conditions
4	Subdivision Plan
5	Subdivision Plan
6	Street Network and Block Size Plan
7	Grading and Drainage Plan
8	Utility Plan
9	Phasing Plan - Single Family Attached Priority
10	Landscape & Hardscape Plan

PLANNING AREA SUMMARY CHART			
PLANNING AREA	ZONING	DESCRIPTION	AREA (AC.)
PA-1	R-2	SINGLE FAMILY RESIDENTIAL	28.24
PA-2	R-2	SINGLE FAMILY RESIDENTIAL	19.72
PA-3	R-3	MULTI-FAMILY RESIDENTIAL	17.93
PA-4	C-3	COMMERCIAL	13.66
PA-5	C-3	COMMERCIAL	1.90
PA-6	R-1-A	SINGLE FAMILY RESIDENTIAL	18.60
PA-7	R-1-A	SINGLE FAMILY RESIDENTIAL	20.54
PA-8	C-3	COMMERCIAL	2.27
TOTAL			122.86

LAND USE SUMMARY CHART	
LAND USE	AREA (AC.)
PUBLIC ROW	27.01
ACREAGE OF LOTS	20.55
TRACTS	28.20
FUTURE PAs ¹	79.83
TOTAL	155.59

1. PA-1, PA-2, PA-3, PA-4, PA-5, and PA-8

PLANNING AREA	ZONING	DESCRIPTION	AREA (AC.)
TRACT A	N/A	OPEN SPACE	0.16
TRACT B	N/A	OPEN SPACE	5.53
TRACT C	N/A	PARK	0.36
TRACT D	N/A	ACCESS	0.05
TRACT E	N/A	OPEN SPACE	3.71
TRACT F	N/A	AMENITY AREA	0.76
TRACT G	N/A	OPEN SPACE	0.59
TRACT H	N/A	OPEN SPACE, TRAILS, DETENTION	13.15
TRACT I ¹	N/A	PARK	3.89
TOTAL			28.20

1. Located in PA-1.

OWNER SIGNATURE BLOCK

BY SIGNING THIS SUBDIVISION PLAN, THE OWNER ACKNOWLEDGES AND ACCEPTS ALL THE REQUIREMENTS AND INTENT,
FOR THOSE PARCEL(S) OWNED BY OWNER, AS SET FORTH IN THIS SUBDIVISION PLAN. WITNESS MY/OUR HAND(S) SEAL(S)
THIS _____ DAY OF _____, 20____.

WILLIAM E. PETERS
AN INDIVIDUAL

STATE OF COLORADO }
COUNTY OF ADAMS } ss.

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ A.D., _____ BY _____ (NAME)

MY COMMISSION EXPIRES: _____

WITNESS MY HAND AND OFFICIAL SEAL: _____
NOTARY PUBLIC

CITY COUNCIL ACCEPTANCE

ACCEPTED FOR THE CITY COUNCIL OF THE CITY OF BRIGHTON
COLORADO ON THIS _____ DAY OF _____, 20____.

MAYOR CITY CLERK

PLANNING COMMISSION APPROVAL

APPROVED BY THE CITY OF BRIGHTON PLANNING
COMMISSION ON THIS _____ DAY OF _____, 20____.

CHAIR

PROJECT BENCHMARK:

ADAMS COUNTY BENCHMARK NUMBER S 62 BEING A STANDARD
UNITED STATES COAST & GEODETIC SURVEY 3-1/4" BRONZE
BENCHMARK DISK STAMPED "S 62 1934" SET IN THE TOP OF A 10"
SQUARE CONCRETE POST LOCATED SOUTHEAST OF THE
INTERSECTION OF BROMLEY LANE AND THE BURLINGTON
NORTHING RAILROAD LINE, AND 63 FEET NORTHWEST OF THE
BURLINGTON NORTHERN RAILROAD LINE.
NAVD88 ELEVATION = 5079.87'



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No.	Rev.	Date:	Revision Type:	Job No.:	Scale Horiz:	Scale Vert:	Sheet:	Date:
1				1058-07	N/A	N/A	1 of 10	March 18, 2025
2								
3								
4								
5								
6								
Designed: DKH				Prepared: DKH		Approved: KRL		

Mirasol Subdivision Plan

City of Brighton, CO

Subdivision Plan

Cover Sheet

NOT FOR
CONSTRUCTION



Know what's below.
Call before you dig.

No. 1

INTENT

THIS MAJOR SUBDIVISION PLAN SHALL BE BINDING UPON, AND INURE TO THE BENEFIT OF, THE OWNER/DEVELOPER NAMED ON THE COVER SHEET AND ITS HEIRS, SUCCESSORS, AND ASSIGNS. THE CITY AGREES THAT THE REQUIREMENTS SET FORTH HEREIN ARE REASONABLE, NECESSARY, AND APPROPRIATE CONDITIONS AND OBLIGATIONS OF THE OWNER/DEVELOPER. THIS MAJOR SUBDIVISION PLAN SHALL BE DEEMED TO COMPLEMENT AND BE IN ADDITION TO THE CONDITIONS AND REQUIREMENTS OF THE CITY'S LAND USE AND DEVELOPMENT CODE (THE "CODE").

GENERALLY APPLICABLE DEVELOPMENT OBLIGATIONS

OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF ALL PUBLIC IMPROVEMENTS ESTABLISHED IN THE DEVELOPMENT AGREEMENT OR OTHERWISE REQUIRED BY THE CODE TO ESTABLISH BUILDABLE LOTS ON THE REAL PROPERTY IN ACCORDANCE WITH THIS MAJOR SUBDIVISION PLAN AND THE FINAL PLATS. THE TERM "SCHEDULE OF IMPROVEMENTS" AND/OR "PHASING PLAN(S)" SHALL MEAN A DETAILED LISTING OF ALL OF THE PUBLIC IMPROVEMENTS, THE DESIGN, CONSTRUCTION, INSTALLATION, AND PHASING OF WHICH IS THE SOLE RESPONSIBILITY OF THE DEVELOPER. THE "SCHEDULE OF IMPROVEMENTS" MAY BE DIVIDED INTO PHASES OF THE APPROVED FINAL PLAT(S) FOR THE DEVELOPMENT. THE IMPROVEMENTS LISTED BELOW (WHICH LIST IS NOT EXHAUSTIVE), THE TYPE, SIZE, GENERAL LOCATION, AND ESTIMATED COST OF EACH IMPROVEMENT AND THE DEVELOPMENT PHASE IN WHICH THE PUBLIC IMPROVEMENT IS TO BE BUILT. THE COSTS FOR THESE IMPROVEMENTS SHALL BE SUBMITTED TO THE CITY AT THE TIME OF FINAL PLAT:

- WATER LINES
- SANITARY SEWER LINES
- STORM SEWER LINES
- DRAINAGE RETENTION/DETENTION PONDS
- STREETS/ALLEYS/RIGHTS-OF-WAY
- CURBS/GUTTERS
- SIDEWALKS
- BRIDGES AND OTHER CROSSINGS
- TRAFFIC SIGNAL LIGHTS
- STREET LIGHTS
- SIGNS
- FIRE HYDRANTS
- GUARD RAILS
- NEIGHBORHOOD PARKS/COMMUNITY PARKS
- OPEN SPACE
- TRAILS AND PATHS
- STREET TREES/OPEN SPACE AND/OR COMMON AREA LANDSCAPING
- IRRIGATION SYSTEMS
- WELLS
- FENCING/RETAINING WALLS
- PARKING LOTS
- PERMANENT EASEMENTS
- LAND DONATED AND/OR CONVEYED TO THE CITY
- VALUE OF LAND BENEATH ALL INFRASTRUCTURE IMPROVEMENTS
- VALUE OF WATER DONATED AND/OR CONVEYED TO THE CITY

OWNER/DEVELOPER SHALL FURNISH, AT ITS SOLE EXPENSE AND IN CONFORMANCE WITH THE CODE, ALL NECESSARY ENGINEERING SERVICES AND CIVIL ENGINEERING DOCUMENTS RELATING TO THE DESIGN AND CONSTRUCTION OF THE PUBLIC IMPROVEMENTS (THE "CIVIL ENGINEERING DOCUMENTS"). OWNER/DEVELOPER SHALL FURNISH AND INSTALL THE PUBLIC IMPROVEMENTS IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CODE. THE CIVIL ENGINEERING DOCUMENTS APPROVED BY THE CITY, AND OF ANY GOVERNMENTAL OR QUASI-GOVERNMENTAL ENTITY TO WHOM SUCH PUBLIC IMPROVEMENTS MAY BE DEDICATED AS SET FORTH HEREIN OR ON THE FINAL PLAT FOR THE PARTICULAR PHASE. BUILDING PERMITS FOR THE VERTICAL CONSTRUCTION OF ANY TYPE OF STRUCTURE REGULATED BY THE CITY WILL BE ISSUED BY THE CITY UPON THE FOLLOWING CONDITIONS:

- ALL APPLICABLE CITY REVIEWS ARE COMPLETED, AND PLANS ARE APPROVED
- ALL APPLICABLE PERMITTING FEES ARE PAID
- PUBLIC IMPROVEMENTS FOR THE REAL PROPERTY (OR FOR THE APPLICABLE PHASE OF THE REAL PROPERTY IF PHASING IS ALLOWED HEREIN) AND HAVE RECEIVED INITIAL ACCEPTANCE IN ACCORDANCE HERewith

OWNER/DEVELOPER AGREES TO FOLLOW THE CITY'S CODE AND PUBLIC WORKS STANDARDS, AS AMENDED, IN REGARDS TO ANY CONSTRUCTION STANDARDS, PLAN SUBMISSION AND APPROVAL PROCESSES, INITIAL ACCEPTANCE AND WARRANTY PROCESSES, MAINTENANCE IMPROVEMENTS, FINAL ACCEPTANCE, TESTING AND INSPECTION, IMPROVEMENT GUARANTEES, INDEMNIFICATION AND RELEASE OF LIABILITY, AND INSURANCE OSHA STANDARDS THAT ARE IN EFFECT AT THE TIME OF FINAL PLAT APPROVAL.

SITE SPECIFIC DEVELOPMENT OBLIGATIONS

IN ADDITION TO THE GENERALLY APPLICABLE DEVELOPMENT OBLIGATIONS SET FORTH ABOVE, THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR CONSTRUCTION OF THE FOLLOWING IMPROVEMENTS, WHICH ADDITIONAL IMPROVEMENTS SHALL CONSTITUTE "PUBLIC IMPROVEMENTS" HEREUNDER:

- THE PLANNING AREA 1 PARK
- THE IMPROVEMENTS OF S. 50TH AVENUE AS SHOWN ON SHEET 6
- THE IMPROVEMENTS OF E. BROMLEY AVENUE AS SHOWN ON SHEET 6
- THE IMPROVEMENTS OF SOUTHERN STREET AS SHOWN ON SHEET 6
- THE IMPROVEMENTS TO FRONTAGE RD. & ROUNDABOUT AS SHOWN ON SHEET 6
- THE IMPROVEMENTS TO S. 45TH AVENUE AS SHOWN ON SHEET 6

IMPROVEMENT GUARANTEE

OWNER/DEVELOPER SHALL SUBMIT TO THE CITY A GUARANTEE FOR ALL PUBLIC IMPROVEMENTS RELATED TO THE REAL PROPERTY (OR TO THE APPLICABLE PHASE OF THE REAL PROPERTY IF PHASING IS ALLOWED HEREIN). SAID GUARANTEE MAY BE A BOND, OR A LETTER OF CREDIT IN A FORMAT PROVIDED BY THE CITY. INFRASTRUCTURE PERMITS SHALL BE ISSUED FOR ONLY THAT PHASE FOR WHICH SAID GUARANTEES HAVE BEEN FURNISHED. THE TOTAL AMOUNT OF THE GUARANTEE FOR EACH PHASE SHALL BE CALCULATED AS A PERCENTAGE OF THE TOTAL ESTIMATED COST, INCLUDING LABOR AND MATERIALS, OF ALL PUBLIC IMPROVEMENTS TO BE CONSTRUCTED IN SAID PHASE OF THE DEVELOPMENT. THE TOTAL AMOUNTS ARE AS FOLLOWS:

- PRIOR TO ISSUANCE OF INFRASTRUCTURE PERMITS FOR SUCH PHASE - 115%
- UPON INITIAL ACCEPTANCE PRIOR TO FINAL ACCEPTANCE - 15%
- AFTER FINAL ACCEPTANCE - 0%

IN ADDITION TO ANY OTHER REMEDIES UNDER THE CODE, THE CITY MAY, AT ANY TIME PRIOR TO FINAL ACCEPTANCE, DRAW ON ANY PUBLIC IMPROVEMENT GUARANTEE ISSUED IF OWNER/DEVELOPER FAILS TO EXTEND OR REPLACE ANY SUCH PUBLIC IMPROVEMENT GUARANTEE AT LEAST THIRTY (30) DAYS PRIOR TO EXPIRATION OF SUCH PUBLIC IMPROVEMENT GUARANTEE, OR FAILS TO OTHERWISE COMPLY WITH THE PUBLIC IMPROVEMENT GUARANTEE. IF THE CITY DRAWS ON THE GUARANTEE TO CORRECT DEFICIENCIES AND COMPLETE ANY PUBLIC IMPROVEMENTS, ANY PORTION OF SAID GUARANTEE NOT UTILIZED IN CORRECTING THE DEFICIENCIES AND/OR COMPLETING THE PUBLIC IMPROVEMENTS SHALL BE RETURNED TO OWNER/DEVELOPER WITHIN THIRTY (30) DAYS AFTER SAID FINAL ACCEPTANCE.

MODEL HOMES (EXCLUDES PA-4, PA-5, AND PA-8)

HOMES TO BE USED AS MODELS BY BUILDERS FOR THE PURPOSE OF SALES VISITS AND SHOWCASING THE RESIDENTIAL HOUSING PRODUCT(S) TO THE PUBLIC SHALL BE ALLOWED PRIOR TO INITIAL ACCEPTANCE IF, AND ONLY IF, THERE ARE TWO POINTS OF ACCESS ACROSS SURFACES DEEMED ACCEPTABLE TO THE CITY'S CHIEF BUILDING OFFICIAL, CITY'S PUBLIC WORKS DIRECTOR, AND THE BRIGHTON FIRE RESCUE DISTRICT. ADDITIONALLY, ADEQUATE PARKING AND TURNAROUND ACCESS, IF NEEDED, SHALL BE PROVIDED ON A SURFACE AND TO A DESIGN AS DETERMINED ACCEPTABLE BY THE CITY'S CHIEF BUILDING OFFICIAL, CITY'S PUBLIC WORKS DIRECTOR, AND THE BRIGHTON FIRE RESCUE DISTRICT. LASTLY, THE CITY'S CHIEF BUILDING OFFICIAL, PUBLIC WORKS DIRECTOR, AND THE BRIGHTON FIRE RESCUE DISTRICT MAY REQUIRE OTHER ITEMS PRIOR TO THE CONSTRUCTION OR USE OF MODEL HOMES AT THEIR DISCRETION IN ORDER TO ENSURE HEALTH, SAFETY, AND WELFARE OF THE PUBLIC. MODEL HOMES AND AREAS SHALL MEET THE REQUIREMENTS OF THE ADOPTED SAFETY CODES FOR THE CITY.

PHASING

REFER TO SHEET 9 PRELIMINARY IMPROVEMENTS PLAN AND CURRENT PHASING INFORMATION.

NOTES

1. UNDERGROUNDING OF UTILITY LINES

DEVELOPER SHALL BE RESPONSIBLE FOR UNDERGROUNDING OVERHEAD UTILITY LINES RUNNING ADJACENT TO THE PROPERTY. IT IS ANTICIPATED THAT THE OVERHEAD TRANSMISSION LINES RUNNING ALONG SOUTHERN STREET AND INTO AND THROUGH THE INTERIOR PROPERTY WILL REMAIN OVERHEAD AS THEY CANNOT BE EASILY UNDERGROUNDED.

2. INSTALLATION OF STREET LIGHTING

DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF STREET LIGHTING ALONG ALL ROADS ADJACENT TO THE PROPERTY AND ANY ROADS CONSTRUCTED AT THE TIME OF DEVELOPMENT. THE DETAILS AND TIMING OF WHICH SHALL BE DETERMINED AT THE TIME OF FINAL PLAT/DEVELOPMENT AGREEMENT.

3. ANNEX INTO SOUTH BEEBE DRAW METROPOLITAN DISTRICT

DEVELOPER ACKNOWLEDGES THAT BEFORE DEVELOPMENT CAN OCCUR ON THE PROPERTY, THE PROPERTY MUST BE FORMALLY ANNEXED AND ACCEPTED INTO THE SOUTH BEEBE DRAW METROPOLITAN DISTRICT IN A MANNER PRESCRIBED BY THE SOUTH BEEBE DRAW METROPOLITAN DISTRICT. DEVELOPER FURTHER ACKNOWLEDGES THAT IT MAY BE SUBJECT TO CERTAIN DEVELOPMENT AND MAINTENANCE FEES LEVIED BY THE SOUTH BEEBE DRAW METROPOLITAN DISTRICT AFTER ACCEPTANCE.

4. PEDESTRIAN CONNECTION

DEVELOPER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF A PEDESTRIAN CONNECTION RUNNING FROM THE NORTH SIDE TO THE SOUTH SIDE OF THE PROPERTY WITHIN THE EXISTING TRANSMISSION LINE AND ACCESS EASEMENT, REC. NO. 2014000058020, AND THE GRANTING OF THE NECESSARY EASEMENT FOR SAID PEDESTRIAN CONNECTION, THE DETAILS AND TIMING OF WHICH SHALL BE DETERMINED AT THE TIME OF FINAL PLAT/DEVELOPMENT AGREEMENT.

5. COMMUNITY BENEFIT INCENTIVES

DEVELOPER SHALL MAKE ANY SUCCESSORS AND/OR ASSIGNS AWARE OF THE COMMUNITY BENEFIT INCENTIVES AS EXPRESSED IN THE LAND USE & DEVELOPMENT CODE SECTION 5.08, AS MAY BE AMENDED.

SITE SPECIFIC FEE AND CONTRIBUTIONS

NOTWITHSTANDING ANYTHING TO THE CONTRARY HEREIN, THE FOLLOWING FEES AND CONTRIBUTIONS SHALL BE PAYABLE IN THE AMOUNTS AND AT THE TIME LISTED BELOW:

1. OPEN SPACE CALCULATIONS AND FEE IN LIEU

THE FEE-IN-LIEU FOR OPEN SPACE OR PARKS MUST BE PAID PRIOR TO APPROVAL OF THE FINAL PLAT. IF RESIDENTIAL DENSITIES INCREASE FROM THOSE APPROVED IN THE FINAL PLAT, THUS REQUIRING THE DEDICATION OF ADDITIONAL LAND FOR THE NEIGHBORHOOD/COMMUNITY PARK AND NECESSARY OPEN SPACE, SAID ADDITIONAL DEDICATION OF LAND MAY BE SATISFIED BY THE DEDICATION OF ADDITIONAL ACCEPTABLE LAND OR PAYMENT OF A FEE-IN-LIEU IN LIEU OF DEDICATION. THE AMOUNT OF SUCH FEE-IN-LIEU SHALL BE DETERMINED IN ACCORDANCE WITH THE CITY OF BRIGHTON PARKS STANDARDS AND PROCEDURES IN EFFECT AT THE TIME THE PAYMENT IS DUE. THE DEDICATION OF ADDITIONAL LAND AND/OR PAYMENT OF CASH IN LIEU OF DEDICATION, IF REQUIRED, SHALL BE COMPLETED PRIOR TO THE APPROVAL OF ANY AMENDMENTS TO THE FINAL PLAT. FOR THE INITIAL DEDICATION OF PARK LAND, NO FEE-IN-LIEU WILL BE ACCEPTED. A FEE-IN-LIEU FOR OPEN SPACE MAY BE CONSIDERED AT THE DISCRETION OF CITY STAFF AT THE TIME OF FINAL PLAT.

2. WATER DEDICATION REQUIREMENTS

WATER DEDICATION MUST BE COMPLETED AT THE APPROVAL OF THE FINAL PLAT AND/OR SITE PLAN FOR EACH SUCH PHASE AS DETERMINED BY THE CITY. WATER DEDICATION MUST BE COMPLETED IN ACCORDANCE WITH THE CITY STANDARDS IN EFFECT AT THE TIME OF REVIEW.

3. TRAFFIC SIGNAL REQUIREMENTS

DEVELOPER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF SIGNALS LAID OUT IN THE ANNEXATION AGREEMENT, REIMBURSEMENTS MAY BE AVAILABLE. OTHER CONTRIBUTIONS WILL BE DETERMINED AT FINAL PLAT WITH THE FINAL TIS. TRAFFIC SIGNALS WILL BE TIED TO A PHASE BASED ON THE TIS AND CITY OF BRIGHTON REVIEW. CONTRIBUTIONS TO SIGNALS WILL BE PAID FOR AT EACH PHASE ACCORDINGLY PRIOR TO ISSUANCE OF A DEVELOPMENT PERMIT. CERTAIN TRAFFIC SIGNALS WILL BE WARRANTED UNDER THE ROADWAY NETWORK OR COORDINATED SIGNAL SYSTEM PROVISION (MUTCD SECTION 4C).

4. COMMUNITY AMENITIES

OWNER/DEVELOPER SHALL DESIGN AT THE TIME OF FINAL PLAT ALL COMMUNITY AMENITIES FOR EACH PHASE, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, PARKS AND OPEN SPACE, FENCING, SUBDIVISION SIGNAGE, AND COMMUNITY MAILBOXES. OWNER/DEVELOPER AGREES TO CONSTRUCT AND/OR INSTALL THESE ITEMS WITHIN EACH PHASE OF DEVELOPMENT.

5. FUTURE STREET CONNECTION SIGNS

THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF SIGNS CALLING OUT FUTURE STREET CONNECTIONS AND FOR THEIR CONTINUED MAINTENANCE UNTIL THE PHASE ON WHICH THEY ARE PLACED IS CONSTRUCTED. SPECIFICALLY, PRIOR TO INITIAL ACCEPTANCE OF PUBLIC IMPROVEMENTS FOR EACH PHASE, THE DEVELOPER AND/OR THE DISTRICT, AT THE APPLICABLE PARTY'S SOLE COST AND EXPENSE, SHALL ERECT A SIGN AT EACH FUTURE CONNECTION POINT INTO FUTURE PHASES NOTIFYING RESIDENTS THAT THE STREET WILL BE EXTENDED IN THE FUTURE IN CONNECTION WITH THE DEVELOPMENT.

6. SCHOOL LAND DEDICATION

IN ACCORDANCE WITH THE CITY'S LAND USE AND DEVELOPMENT CODE, SECTION 3.05(F), THE OWNER/DEVELOPER AGREES TO PROVIDE A FEE-IN-LIEU OF LAND DEDICATION AS DETERMINED BY BRIGHTON SCHOOL DISTRICT 27J AND SHALL PROVIDE PAYMENT TO THE SCHOOL DISTRICT PRIOR TO RECORDING OF THE FINAL PLAT OF THE APPLICABLE PHASE.

7. CAPITAL FACILITY FEE

THE OWNER/DEVELOPER IS AWARE OF THE SCHOOL DISTRICT CAPITAL FACILITY FEE FOUNDATION, WHOSE PURPOSE IS TO ADMINISTER THE COLLECTION FROM VARIOUS DEVELOPMENT ENTITIES OF A "CAPITAL FACILITY FEE" FOR DISBURSAL TO SCHOOL DISTRICT 27J TO FUND A PORTION OF THE COSTS OF PROVIDING ADDITIONAL CAPITAL FACILITIES TO SERVICE NEW GROWTH, AND HAS VOLUNTARILY AGREED TO BE A PARTICIPATING DEVELOPMENT ENTITY IN THAT PROCESS AND, ACCORDINGLY, ENTER INTO A PARTICIPANT AGREEMENT WITH THE SCHOOL DISTRICT. FEES PAYABLE TO THE FOUNDATION SHALL BE PAID DIRECTLY TO THE SCHOOL DISTRICT AS PART OF EACH RESIDENTIAL BUILDING PERMIT. AFTER ESTABLISHMENT AND ASSESSMENT OF ANY SCHOOL FEES AS AFORESAID, AS A CONDITION OF APPROVAL OF ANY RESIDENTIAL BUILDING PERMIT, THE OWNER/DEVELOPER SHALL PROVIDE EVIDENCE TO THE CITY THAT SUCH FEES HAVE BEEN PAID TO THE FOUNDATION IN ACCORDANCE WITH THIS SECTION, PRIOR TO THE RELEASE OF A RESIDENTIAL BUILDING PERMIT.

RTD

DEVELOPER AGREES TO WORK WITH RTD AT THE TIME OF PLATTING ON ANY BRT, BUS STOP, OR REGIONAL TRANSPORTATION FACILITIES NEEDED ON SITE.

FUTURE AGREEMENT

THE OWNER/DEVELOPER SHALL ENTER INTO A DEVELOPMENT AGREEMENT FOR EACH PHASE/FILING AT THE TIME OF EACH FINAL PLAT.

FLOODPLAIN

ALL BUILDINGS PROPOSED IN A REGULATORY FLOODPLAIN MUST MEET ALL REQUIREMENTS OF THE CITY FLOODPLAIN ORDINANCES AND FEDERAL NFIP REGULATIONS (I.E. RESIDENTIAL PERMITS WILL NOT BE ISSUED IN THIS REGULATORY FLOODPLAIN AREA).

THIRD-PARTY SERVICE

DEVELOPER ACKNOWLEDGES THAT THE CITY CANNOT ENSURE SERVICE PROVIDED TO THE DEVELOPMENT BY THIRD-PARTY ENTITIES. IF THE DEVELOPMENT CANNOT BE SERVED BY ONE OR MORE OF ANY REQUIRED THIRD-PARTY SERVICE PROVIDERS, THE DEVELOPER MAY BE REQUIRED TO FINANCIALLY CONTRIBUTE TO A SOLUTION.

LEGEND

- Property Line
- Right of Way Line
- Centerline
- Easement Line
- Lot Line
- Site Line
- Sight Distance Line
- 100-YR W.S.E.
- Retaining Wall
- Prop. Asphalt Pavement
- Prop. Asphalt Mill & Overlay
- Prop. Concrete Pavement
- Prop. Concrete Walk
- Ex. Concrete Walk
- Ex. Asphalt Pavement
- Sight Distance Area
- Sanitary Sewer Line
- Water Line
- Storm Sewer Line
- Ex. Sanitary Line
- Ex. Water Line
- Ex. Storm Sewer Line
- Ex. Fiber Optic Line
- Ex. Underground Electric
- Ex. Gas
- Ex. Overhead Electric
- Sanitary Service Line
- Water Service Line
- Sanitary Sewer Manhole
- Fire Hydrant
- Thrust Block
- Water Valve
- Water Meter
- Storm Manhole
- Ex. Sanitary Sewer Manhole
- Ex. Water Valve
- Ex. Fire Hydrant
- Ex. Storm Manhole
- Ex. Street Light
- Prop. Street Light
- Stop Sign
- Proposed Major Contour
- Proposed Minor Contour
- Existing Major Contour
- Existing Minor Contour

PROJECT BENCHMARK:

ADAMS COUNTY BENCHMARK NUMBER S 62 BEING A STANDARD UNITED STATES COAST & GEODETIC SURVEY 3-1/4" BRONZE BENCHMARK DISK STAMPED "S 62 1934" SET IN THE TOP OF A 10" SQUARE CONCRETE POST LOCATED SOUTHEAST OF THE INTERSECTION OF BROMLEY LANE AND THE BURLINGTON NORTHING RAILROAD LINE, AND 63 FEET NORTHWEST OF THE BURLINGTON NORTHERN RAILROAD LINE.
NAVD88 ELEVATION = 5079.87'



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Revision Type:		Revision Type:		Revision Type:		Revision Type:	
No.	1	2	3	4	5	6	
Rev. Date:							
Designated:	DKH						
Prepared:	WWB						
Approved:	KRL						
Job No.:	1058-07						
Scale Horiz:	1" = 150'						
Scale Vert:	N/A						
Sheet:	2 of 10						
Date:	February 10, 2025						

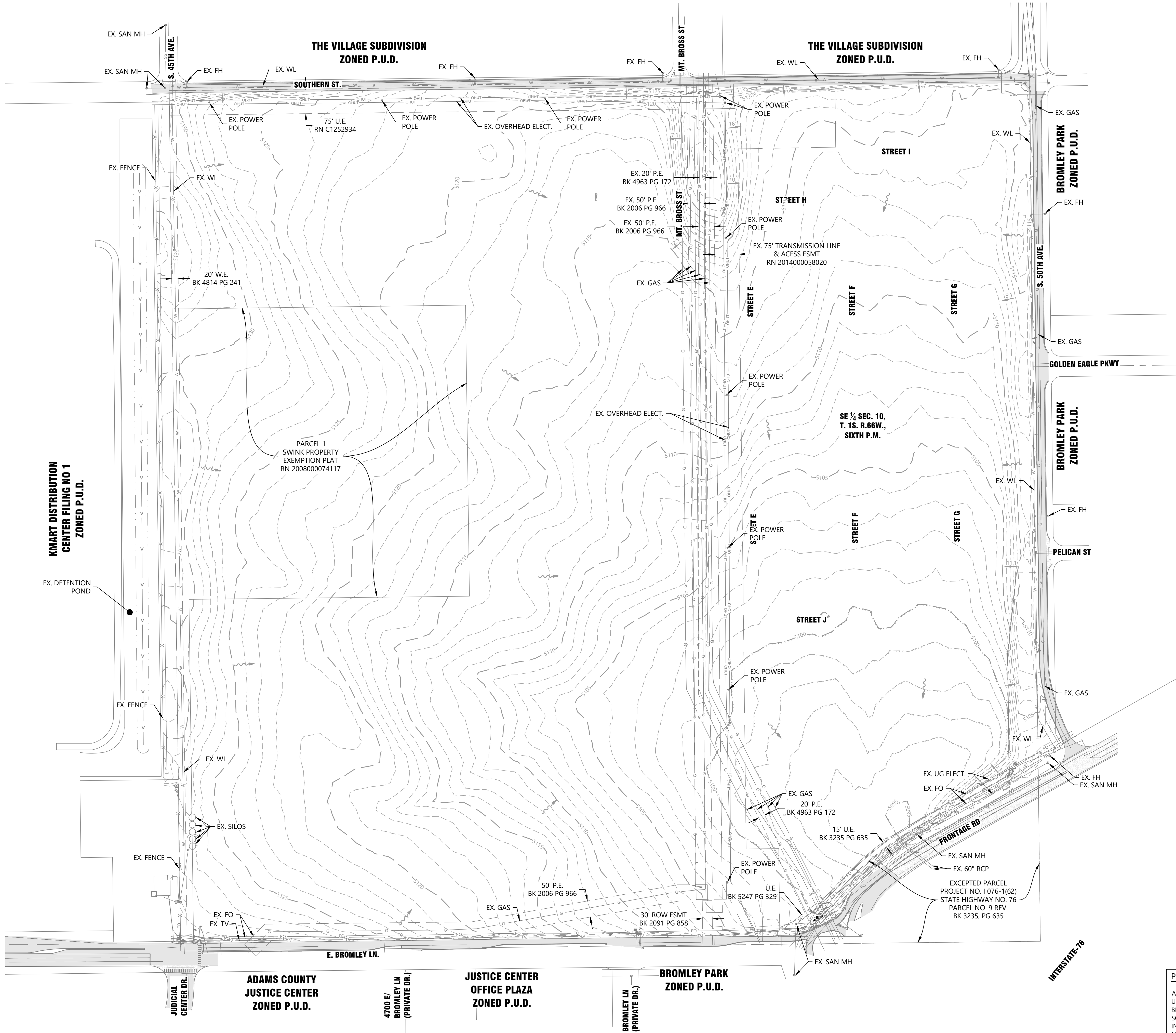
Proj. Name:	Mirasol Subdivision Plan
Location:	City of Brighton, CO
Plan Set:	Subdivision Plan
Sheet Name:	Developer Contributions

NOT FOR
CONSTRUCTION

Know what's below.
Call before you dig.

No.	2
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I:\JOB FOLDERS\058\058-07\PROD\SUBDIVISION PLAN\EX. CONDITIONS PLAN PRINTED ON: 2/10/2025 4:21 PM



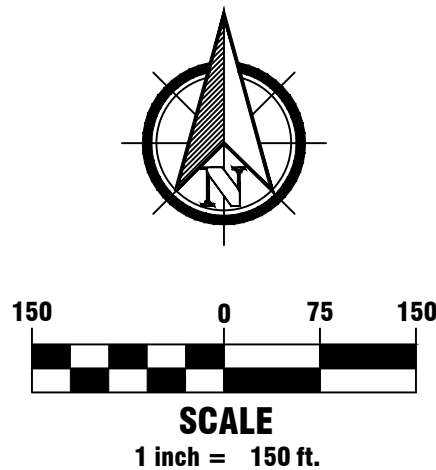
- EXISTING CONDITIONS NOTES:**
- EXISTING SURVEY PROVIDED BY AZTEC CONSULTANTS, INC. AND PERFORMED ON AUGUST 24, 2021.
 - EXISTING SURVEY DOES NOT CERTIFY TO SUBSURFACE FEATURES, IMPROVEMENTS, UTILITIES OR BURIED LINES OF ANY TYPE, LOCATION DEPICTED HEREON ARE DERIVED FROM FIELD SURVEY OF UTILITY FLAGGING/PAINT MARKING, PERFORMED BY AZTEC CONSULTANTS, INC. UTILITY LOCATES DEPARTMENT ON AUGUST 24, 2021.
 - THE SUBJECT PROPERTY SHOWN HEREIN LIES WITHIN OTHER AREAS - ZONE X, AREAS OF MINIMAL FLOOD HAZARD, AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP INDEX NO. 68001C032H, MAP REVISED MARCH 4, 2007.

LEGEND	
	Property Line
	Right of Way Line
	Centerline
	Easement Line
	Lot Line
	Site Line
	Sight Distance Line
	100-YR W.S.E.
	Retaining Wall
	Prop. Asphalt Pavement
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	Ex. Underground Electric
	Ex. Gas
	Ex. Overhead Electric
	Sanitary Service Line
	Water Service Line
	Sanitary Sewer Manhole
	Fire Hydrant
	Thrust Block
	Water Valve
	Water Meter
	Storm Manhole
	Ex. Sanitary Sewer Manhole
	Ex. Water Valve
	Ex. Fire Hydrant
	Ex. Storm Manhole
	Ex. Street Light
	Prop. Street Light
	Stop Sign
	Proposed Major Contour
	Proposed Minor Contour
	Existing Major Contour
	Existing Minor Contour

PROJECT BENCHMARK:

ADAMS COUNTY BENCHMARK NUMBER S 62 BEING A STANDARD UNITED STATES COAST & GEODETIC SURVEY 3-1/4" BRONZE BENCHMARK DISK STAMPED "S 62 1934" SET IN THE TOP OF A 10" SQUARE CONCRETE POST LOCATED SOUTHEAST OF THE INTERSECTION OF BROMLEY LANE AND THE BURLINGTON NORTHERN RAILROAD LINE, AND 63 FEET NORTHWEST OF THE BURLINGTON NORTHERN RAILROAD LINE.

NAVD88 ELEVATION = 5079.87'



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Revision Type:		Revision Type:		Revision Type:	
No.	Rev. Date:	No.	Rev. Date:	No.	Rev. Date:
1		2		3	
4		5		6	
Designed: DKH		Job No.: 1058-07		Sheet: 3 of 10	
Prepared: DKH		Scale Horiz: 1" = 150'		Date: February 10, 2025	
Approved: KRL		Scale Vert: N/A			

Mirasol Subdivision Plan
City of Brighton, CO
Subdivision Plan
Existing Conditions

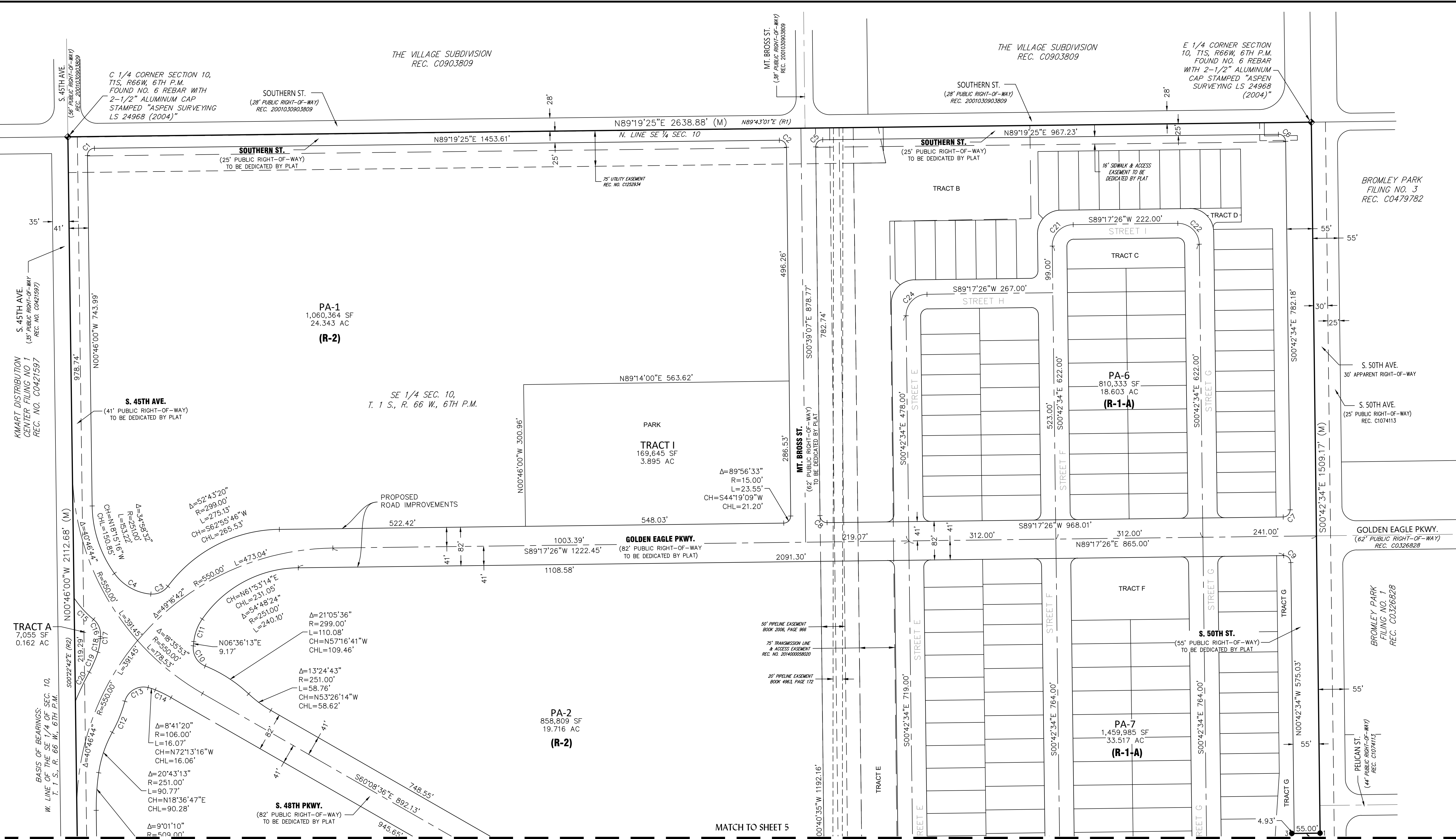
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Know what's below.
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No. 3

L:\JOB FOLDERS\058-07 SURVEY\06 CAD\PRODUCTION FILES\SUBDIVISION PLAN\058-07 SUBDIVISION PLAN PRINTED ON: 2/10/2025 4:21 PM



GENERAL NOTES

- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY LJA SURVEYING TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY, AND TITLE OF RECORD, LJA SURVEYING RELIED UPON THE TITLE COMMITMENT PREPARED BY LAND TITLE GUARANTEE COMPANY, COMMITMENT ORDER NUMBER ABC70589875-4, WITH A EFFECTIVE DATE OF JULY 22, 2022 AT 5:00 P.M.
- THE LINEAL UNIT USED IN THE PREPARATION OF THIS SURVEY IS THE U.S. SURVEY FOOT AS DEFINED BY THE UNITED STATES DEPARTMENT OF COMMERCE, NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY.
- BASIS OF BEARINGS: THE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 66 WEST, SIXTH PRINCIPAL MERIDIAN BEING MONUMENTED AS A FOUND NO. 6 REBAR WITH 2-1/2" ALUMINUM CAP STAMPED "ASPEN SURVEYING LS 24968 (2004)", IS ASSUMED TO BEAR SOUTH 00°46'00" EAST, A DISTANCE OF 2,638.77 FEET TO A FOUND NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "ADG ENGINEERING PLS 23516 (1997)".
- LOT STANDARDS ARE CONCEPTUAL BUT MUST BE "SUBSTANTIALLY SIMILAR" AT THE TIME OF FINAL REVIEW AT FINAL PLAT.
- ALL LOTS IN ALL PLANNING AREAS TO MEET ZONING AND BUILDING TYPE STANDARDS IN TABLE 5-2.

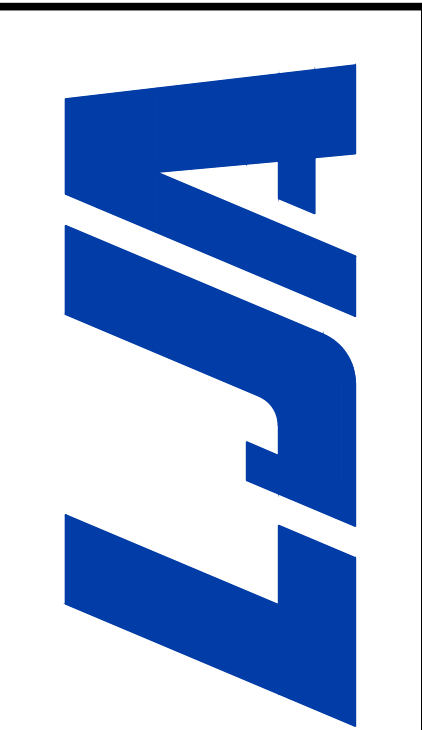
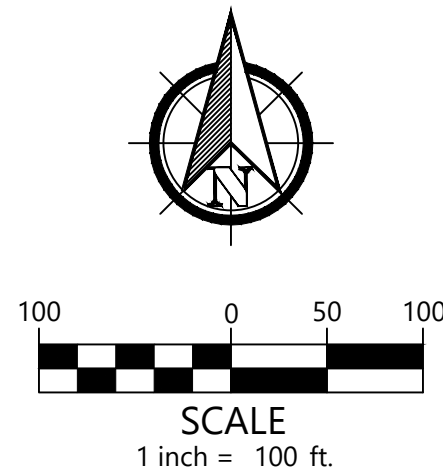
CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	
C1	90°05'25"	15.00'	23.59'	
C2	90°01'28"	15.00'	23.57'	
C3	58°10'16"	41.00'	41.63'	
C4	49°31'06"	106.00'	91.61'	
C5	89°58'32"	15.00'	23.56'	
C6	89°58'01"	15.00'	23.55'	
C7	90°00'00"	15.00'	23.56'	
C8	90°03'27"	15.00'	23.58'	

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	
C9	90°00'00"	15.00'	23.56'	
C10	74°25'42"	41.00'	53.26'	
C11	27°52'50"	106.00'	51.58'	
C12	13°41'11"	299.00'	71.42'	
C13	88°08'50"	41.00'	63.08'	
C14	7°44'00"	276.00'	37.25'	
C15	17°11'19"	206.00'	61.80'	
C16	57°21'17"	41.00'	41.04'	

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	
C17	2°27'46"	99.00'	4.26'	
C18	15°41'37"	106.00'	29.03'	
C19	10°37'36"	251.00'	46.55'	
C20	6°33'49"	597.00'	68.39'	
C21	90°00'00"	45.00'	70.69'	
C22	90°00'00"	45.00'	70.69'	
C23	90°00'00"	45.00'	70.69'	
C24	90°00'00"	45.00'	70.69'	

LEGEND

- RECOVERED SECTION CORNER AS NOTED HEREON
- RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC PLS 37933"
- RECOVERED NO. 5 REBAR WITH 1-1/2" ALUMINUM CAP STAMPED "CDOT" NO PLS
- (M) - DIMENSION AS MEASURED
- (R1) - RECORD DIMENSION THE VILLAGE SUBDIVISION REC. 2001030903809
- (R2) - RECORD DIMENSION KMART DISTRIBUTION CENTER FILING NO 1 REC. 1998030421597



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No.	Rev. Date	No.	Rev. Date
1		2	
2		3	
3		4	
4		5	
5		6	
Designed: DKH		Job No.: 1058-07	
Prepared: BDL		Scale Horiz: 1" = 100'	
Approved: KRL		Scale Vert: N/A	
		Sheet: 4 of 10	
		Date: March 18, 2025	

Mirasol Subdivision Plan
City of Brighton, CO
Subdivision Plan
Subdivision Plan

Proj Name:
Location:
Plan Set:
Sheet Name:

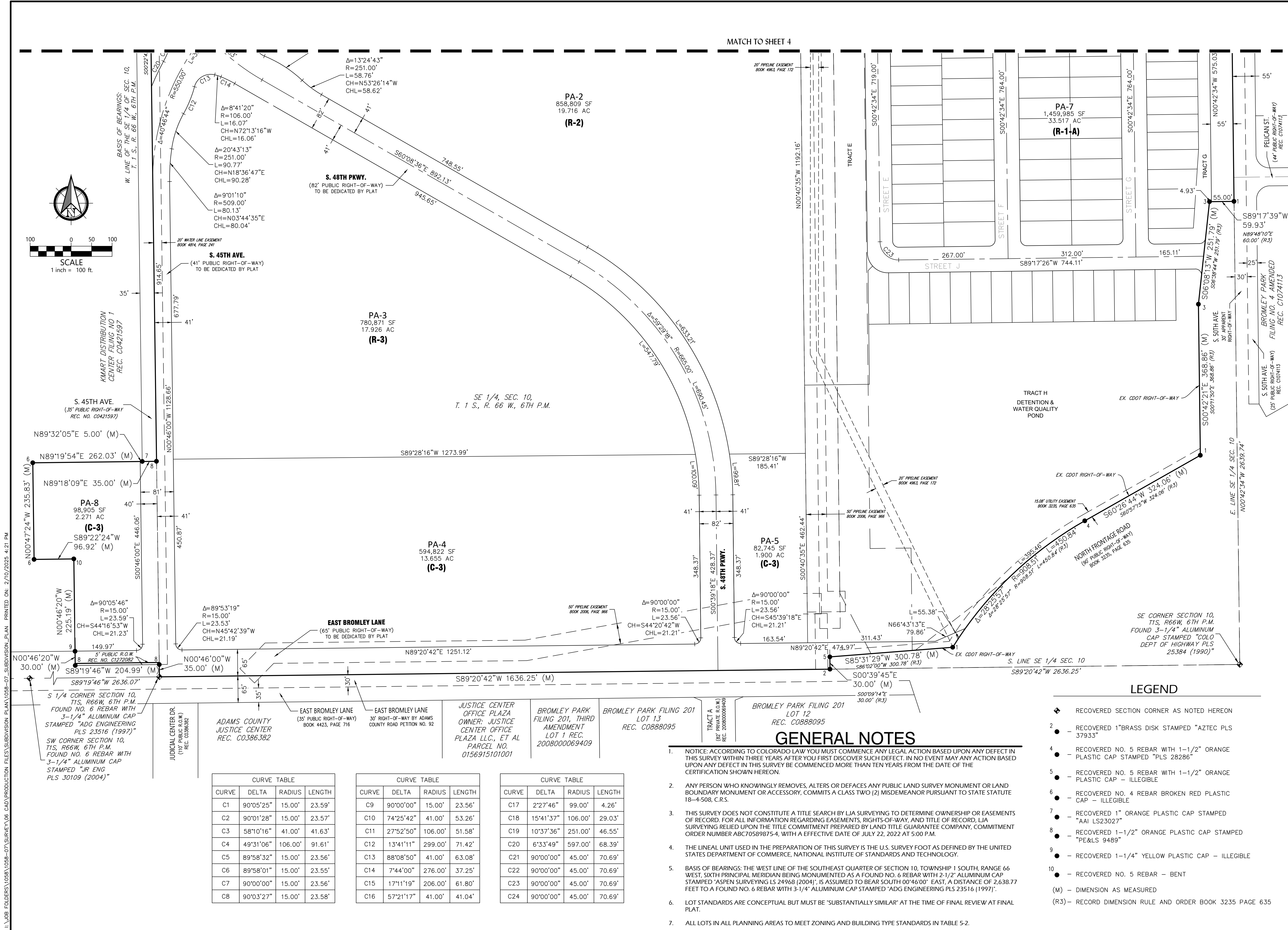
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GENERAL NOTES

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- ALL LOTS IN ALL PLANNING AREAS TO MEET ZONING AND BUILDING TYPE STANDARDS IN TABLE 5-2.

LEGEND

- RECOVERED SECTION CORNER AS NOTED HEREON
- RECOVERED 1" BRASS DISK STAMPED "AZTEC PLS 37933"
- RECOVERED NO. 5 REBAR WITH 1-1/2" ORANGE PLASTIC CAP STAMPED "PLS 28286"
- RECOVERED NO. 5 REBAR WITH 1-1/2" ORANGE PLASTIC CAP - ILLEGIBLE
- RECOVERED NO. 4 REBAR BROKEN RED PLASTIC CAP - ILLEGIBLE
- RECOVERED 1" ORANGE PLASTIC CAP STAMPED "AAI LS23027"
- RECOVERED 1-1/2" ORANGE PLASTIC CAP STAMPED "PE&LS 9489"
- RECOVERED 1-1/4" YELLOW PLASTIC CAP - ILLEGIBLE
- RECOVERED NO. 5 REBAR - BENT
- (M) - DIMENSION AS MEASURED
- (R3) - RECORD DIMENSION RULE AND ORDER BOOK 3235 PAGE 635



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No.	Rev. Date:	Revision Type:
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Designed: DKH
Job No.: 1058-07
Scale Horiz: 1" = 150'
Prepared: WWB
Approved: KRL

Sheet: 5 of 10
Date: March 18, 2025

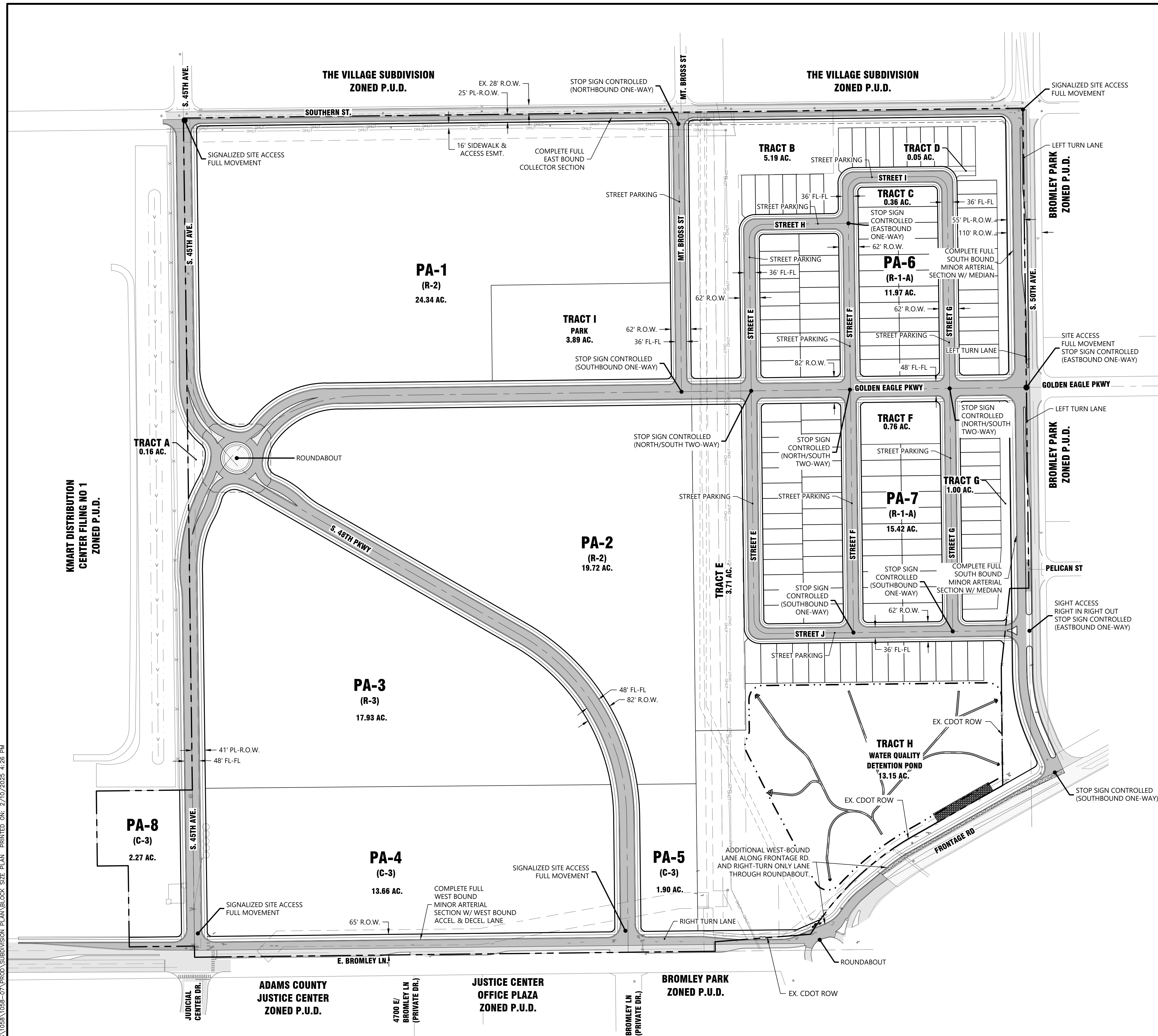
Mirasol Subdivision Plan
City of Brighton, CO
Subdivision Plan
Subdivision Plan

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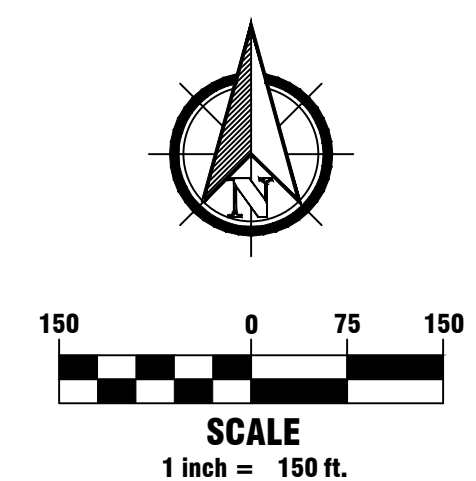
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STREET & BLOCK PLAN NOTES:

STREET NAME	STREET CLASSIFICATION
MT. BROSS ST.	LOCAL
S. 48TH PKWY.	COLLECTOR
S. 45TH AVE.	COLLECTOR
GOLDEN EAGLE PKWY.	COLLECTOR
SOUTHERN ST.	COLLECTOR
S. 50TH AVE.	MINOR ARTERIAL
E. BROMLEY LN.	MINOR ARTERIAL

PROJECT BENCHMARK:



2	DKH	Job No.: 1058-07	Sheet: 6 of 10
3	Prepared: DKH	Scale Horiz: 1" = 150'	Date: March 18, 2025
4	Approved: KRL	Scale Vert: N/A	
5			
6			

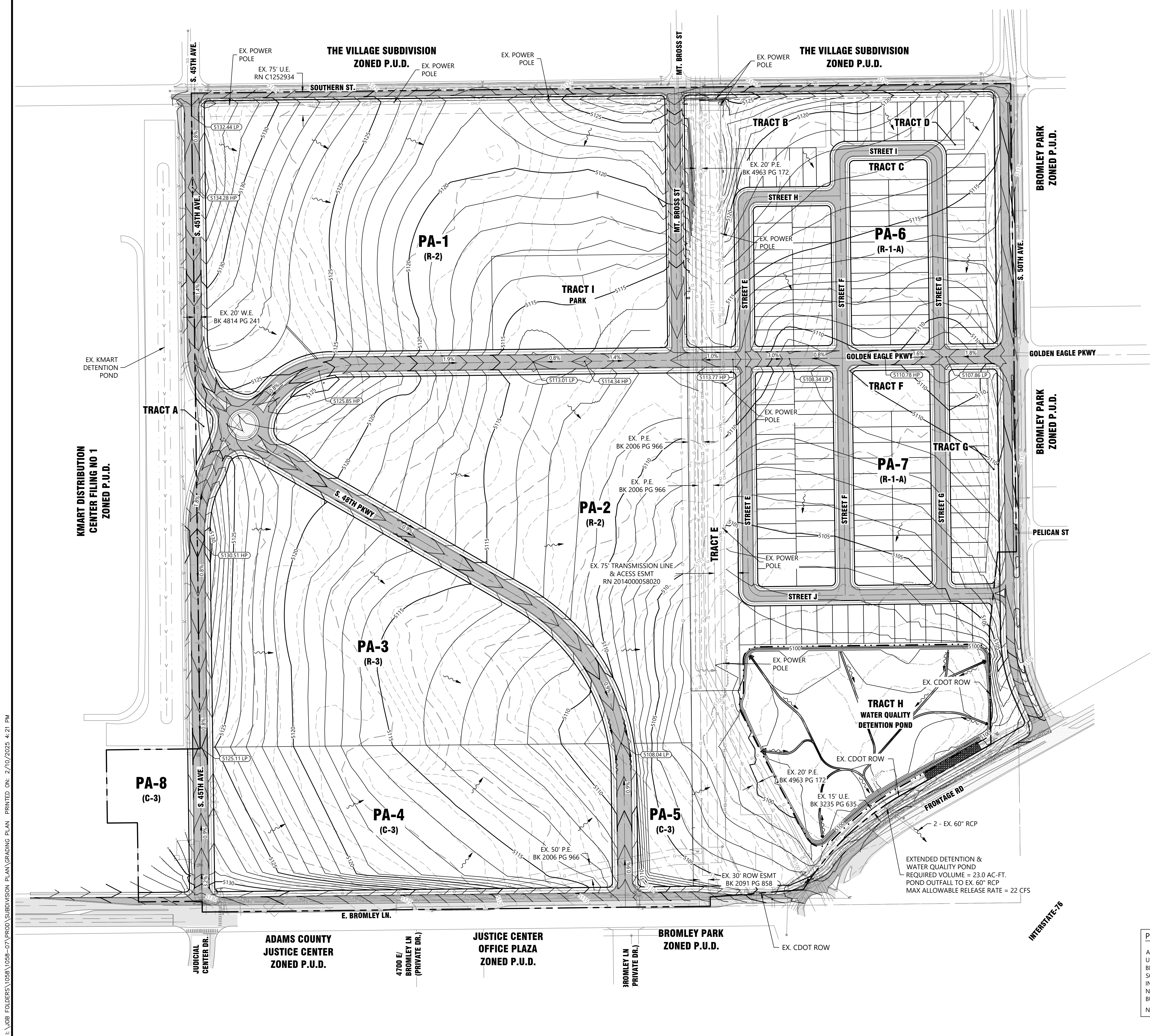
Mirasol Subdivision Plan

Subdivision Plan

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GRADING NOTES:

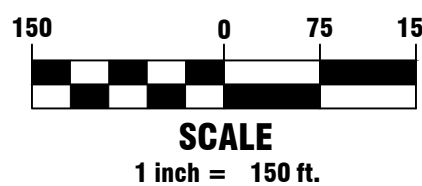
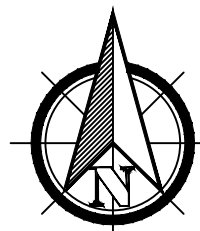
1. CONCEPTUAL GRADING SHOWN FOR REFERENCE ONLY. FINAL GRADING SHALL BE DESIGNED PER CITY OF BRIGHTON CRITERIA AND SUBJECT TO REVIEW AND APPROVAL WITH THE FINAL PLAT AND CONSTRUCTION PLANS.
2. DETENTION AND WATER QUALITY POND IS PROPOSED AS AN INFILTRATION SAND FILTER BASIN.
3. FINAL DETENTION POND ANALYSIS WILL INCLUDE RESULTS OF ONSITE INFILTRATION TESTS AND USED TO CONFIRM SOIL INFILTRATION RATES MEET THE 5-YEAR AND 100-YEAR DRAIN TIMES PER MILE HIGH FLOOD DISTRICT (MHFD).
4. POND MAINTENANCE WILL BE REQUIRED BY THE DEVELOPER/METRO DISTRICT AND WILL BE COORDINATED WITH THE FINAL CONSTRUCTION PLANS.

LEGEND

- Property Line
- Right of Way Line
- Centerline
- Easement Line
- Lot Line
- Site Line
- Sight Distance Line
- 100-YR W.S.E.
- Retaining Wall
- Prop. Asphalt Pavement
- Prop. Asphalt Mill & Overlay
- Prop. Concrete Pavement
- Prop. Concrete Walk
- Ex. Concrete Walk
- Ex. Asphalt Pavement
- Sight Distance Area
- Sanitary Sewer Line
- Water Line
- Storm Sewer Line
- Ex. Sanitary Line
- Ex. Water Line
- Ex. Storm Sewer Line
- Ex. Fiber Optic Line
- Ex. Underground Electric
- Ex. Gas
- Ex. Overhead Electric
- Sanitary Service Line
- Water Service Line
- Sanitary Sewer Manhole
- Fire Hydrant
- Thrust Block
- Water Valve
- Water Meter
- Storm Manhole
- Ex. Sanitary Sewer Manhole
- Ex. Water Valve
- Ex. Fire Hydrant
- Ex. Storm Manhole
- Ex. Street Light
- Prop. Street Light
- Stop Sign
- Proposed Major Contour
- Proposed Minor Contour
- Existing Major Contour
- Existing Minor Contour

PROJECT BENCHMARK:

ADAMS COUNTY BENCHMARK NUMBER S 62 BEING A STANDARD UNITED STATES COAST & GEODETIC SURVEY 3-1/4" BRONZE BENCHMARK DISK STAMPED "S 62 1934" SET IN THE TOP OF A 10" SQUARE CONCRETE POST LOCATED SOUTHEAST OF THE INTERSECTION OF BROMLEY LANE AND THE BURLINGTON NORTHERN RAILROAD LINE, AND 63 FEET NORTHWEST OF THE BURLINGTON NORTHERN RAILROAD LINE.
NAVD88 ELEVATION = 5079.87'



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Designed: DKH		Job No.: 1058-07		Sheet: 7 of 10	
Prepared: DKH		Scale Horiz: 1" = 150'		Date: March 18, 2025	
Approved: KRL		Scale Vert: N/A			

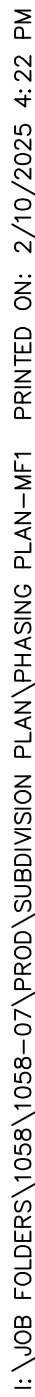
Mirasol Subdivision Plan
City of Brighton, CO
Subdivision Plan
Grading and Drainage Plan

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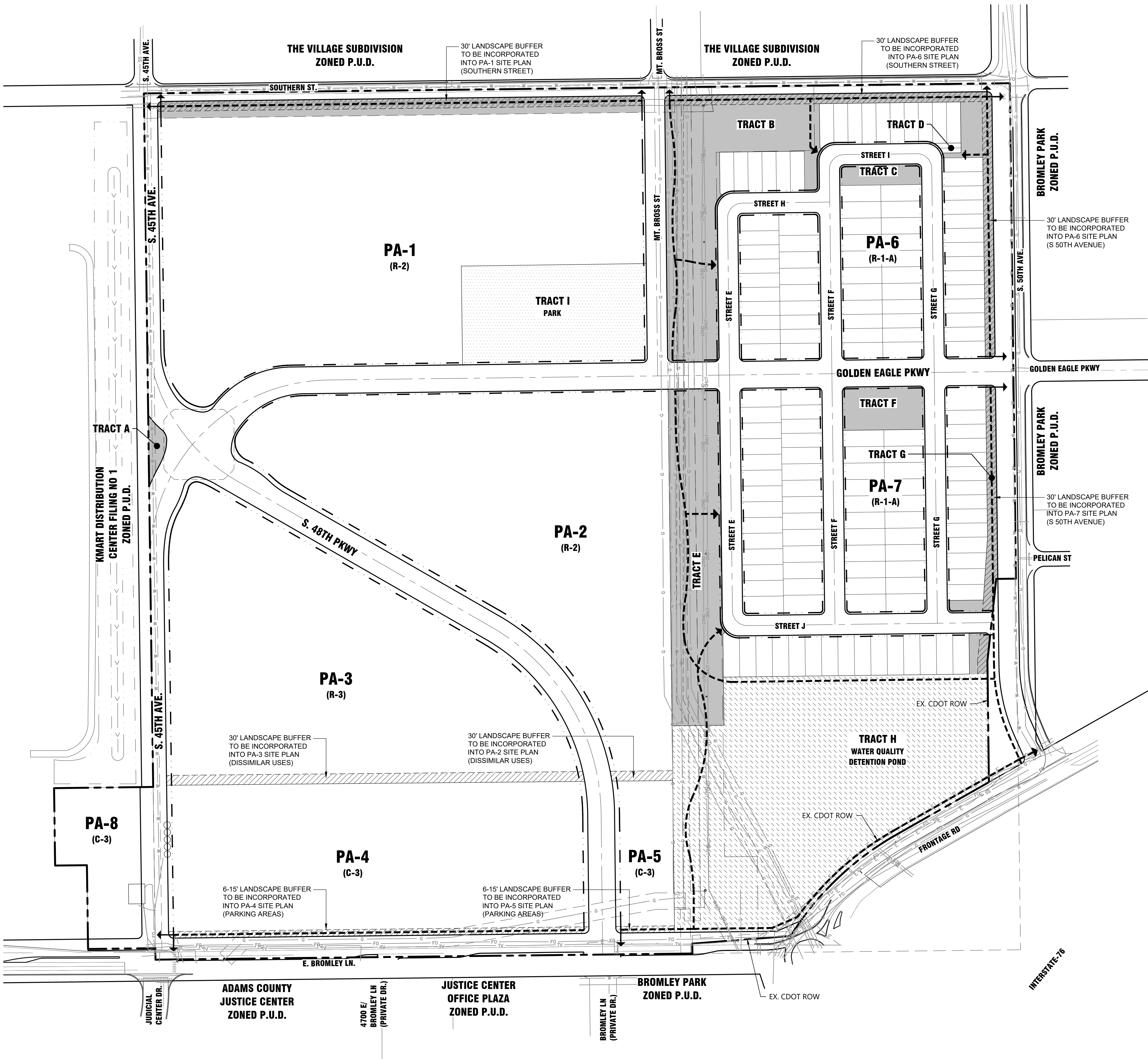


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9



LEGEND

SYMBOL	DESCRIPTION
[Solid Gray Box]	OPEN SPACE (OPEN SPACE)
[Dotted Box]	NEIGHBORHOOD PARK (PUBLIC LAND DEDICATION)
[Hatched Box]	DETENTION AREA (OPEN SPACE)
[Diagonal Line Box]	LANDSCAPE BUFFER (OPEN SPACE)
[Dashed Line]	PROPERTY BOUNDARY
[Dashed Line with Arrow]	10' TRAIL
[Dashed Line]	STREET SIDEWALK

GENERAL NOTES

- THIS SUBDIVISION PLAN WILL BE THE GUIDING DOCUMENT FOR ALL FUTURE SUBDIVISION PLANS FOR THE MIRASOL COMMUNITY.
- THIS SUBDIVISION PLAN OUTLINES THE OVERALL NEIGHBORHOOD FRAMEWORK AND INFRASTRUCTURE SYSTEMS FOR THE MIRASOL COMMUNITY.
- PARKS AND OPEN SPACE DEDICATIONS TO BE BASED ON ACTUAL FINAL UNIT COUNT AT TIME OF FINAL PLAN AND/OR SITE PLAN.
- ALL PUBLIC AND PRIVATE SIDEWALKS SHALL BE A MINIMUM OF 5 FEET IN WIDTH.
- SIDEWALKS WIDTHS TO BE BASED ON STREET CLASSIFICATION AND TYPICAL STREET SECTIONS
- FINAL TRAIL AND WALK ALIGNMENT TO BE DETERMINED AT FINAL PLAT OR SITE PLAN.
- FINAL LANDSCAPE MATERIAL LOCATIONS AND SPECIES TO BE DETERMINED WITH THE FINAL LANDSCAPE PLANS.
- SITE DEVELOPMENT WILL OCCUR IN ACCORDANCE WITH THE APPLICABLE ZONE DISTRICT STANDARDS AS OUTLINED IN THE CITY OF BRIGHTON LAND USE AND DEVELOPMENT CODE.

LANDSCAPE BUFFERS

- PERIMETER ROADWAYS
- SOUTHERN STREET - 30' TRACT WITHIN PLANNING AREAS 1 AND 6.
 - S. 50TH AVENUE - 30' TRACT WITHIN PLANNING AREAS 6 AND 7.

- DISSIMILAR USES
- 30' LANDSCAPE BUFFER IN PLANNING AREA 3 ALONG NORTH PARCEL LINE SHARED WITH PLANNING AREA 4.
 - 30' LANDSCAPE BUFFER IN PLANNING AREA 2 ALONG NORTH PARCEL LINE SHARED WITH PLANNING AREA 5.

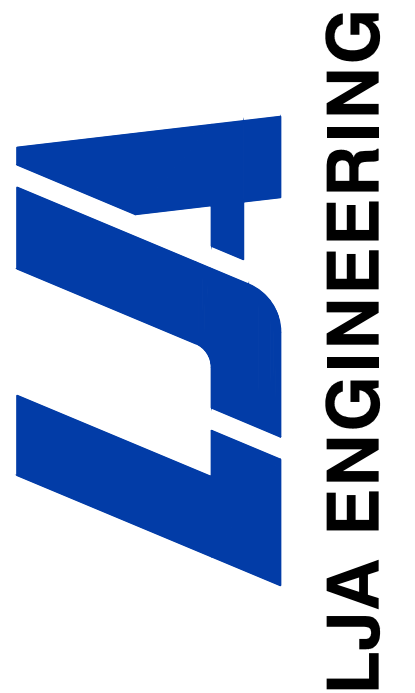
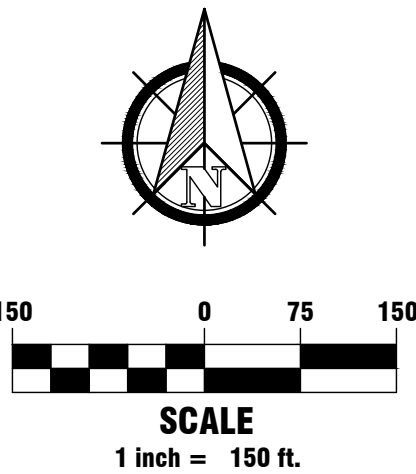
TRACT TABLES

OPEN SPACE		PARKS	
TRACT	AREA	TRACT	AREA
TRACT A	NA	TRACT C	0.36 AC
TRACT B	5.53 AC	TRACT F	0.76 AC
TRACT D	NA	TRACT I	3.89 AC
TRACT E	3.71 AC	TOTAL	5.01 AC
TRACT G	0.59 AC		
TRACT H	13.15 AC		
TOTAL	22.98 AC		

PARKS & OPEN SPACE

PLANNING AREA	ZONE	PROPOSED UNITS
PA-1	R-2	185*
PA-2	R-2	203*
PA-3	R-3	202*
PA-6	R-1-A	71
PA-7	R-1-A	79
* PROPOSED UNIT TOTAL IS AN ESTIMATE AS OF 6/2024		

DEDICATION REQUIREMENTS (740 UNITS)
NEIGHBORHOOD PARK DEDICATION: 6.57 AC
COMMUNITY PARK DEDICATION: 6.57 AC
COMMON OPEN SPACE DEDICATION: 32.86 AC



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5		5	
6		6	
Designed: CM		Job No.: 21035	
Prepared: CM		Scale Horiz: As Shown	
Approved: CM		Scale Vert: NA	
		Sheet: 10 of 10	
		Date: March 18, 2025	

Mirasol Subdivision Plan
City of Brighton, Colorado
Subdivision Plan
LANDSCAPE PLAN

Proj. Name:
Location:
Plan Set:
Sheet Name:

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No. 10