BEING A PORTION OF ORCHARD SUBDIVISION FILING 1

LOCATED IN THE SW 1/4 OF SECTION 36, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF BRIGHTON, COUNTY OF ADAMS, STATE OF COLORADO

SITE DATA CHART	
OVERALL PROJECT ACREAGE	26.21 AC / 1,141,562 SF

PROJECT TEAM

OWNER

The Orchard Church

12405 E 120th Avenue Henderson, CO 80640

P: 720-837-5491

ENTITLEMENTS Norris Design

1101 Bannock Street Denver, CO 80204

P: 303-892-1166

CIVIL ENGINEER/SURVEYOR

Boulder Creek Neighborhoods

JR Engineering, LLC

DEVELOPER

712 Main Street

Louisville, CO 80027

7200 S. Alton Way, Suite C400 Centennial, CO 80112

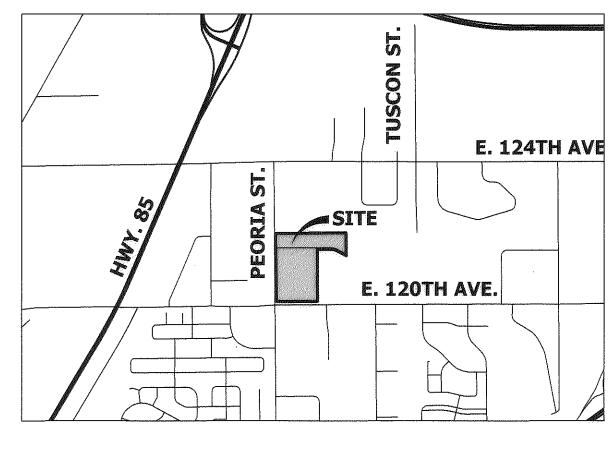
NTS

BENCHMARK

ADAMS COUNTY CONTROL MONUMENT 95.0173 BEING MONUMENTED BY A 3-1/4" ALUMINUM CAP STAMPED "95.0173" IN A 6" PVC SLEEVE LOCATED AT THE NE CORNER OF THE INTERSECTION OF PEORIA STREET AND EAST 120TH AVENUE APPROXIMATELY 0.1 MILE NORTH OF EAST 120TH AVENUE AND 28 FEET EAST OF PEORIA STREET; SAID MONUMENT HAVING A PUBLISHED ELEVATIO OF 5052.38 FEET. NAVD(88)

BASIS OF BEARINGS

THE NORTH LINE OF THE SW 1/4 OF THE SW 1/4 OF SECTION 36, T1S, R67W OF THE 6TH P.M. BEING MONUMENTED AT THE WEST END BY A 3 1/4" ALUMINUM CAP STAMPED "LS 23027" AND AT THE EAST END BY A 2" ALUMINUM CAP STAMPED "LS 24302": SAID LINE BEARS N89°55'56"E AS REFERENCED TO COLORADO STATE PLANE CENTRAL ZONE NAD(83).



VICINITY MAP

CITV		CERTIFICATE:
	COUNCIL	CENTIFICATE.

_ day of _ Approved this ___ by the City Council of Brighton, Colorado.

MAYOR SIGNATURE

CITY CLERK SIGNATURE

SHEET INDEX

- Cover Sheet
- Cover Sheet Legal Description
- **Existing Conditions Plan**
- Zoning Map
- Conceptual Development Plan
- Regulating Plan

OWNERSHIP SIGNATURE BLOCK

By signing this PD, the Owner acknowledges and accepts all the requirements and intent set forth in this PD. Witness my/our hand(s) seal(s) this 240 day of October, 2024.

The Orchard Church

a Colorado limited liability company HON-PROFIT CORPORATION

The Orchard Church

a Colorado limited liability company, NON-PROFIT CORPORATION its Manager LEDO AND FOUNDING PASTOR

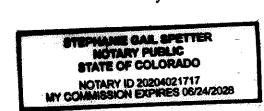
Doug DAMERON

STATE OF Colorado) ss:

COUNTY OF BOUNDEL

The foregoing instrument was acknowledged before me as of the Zncl day of Chore , 2021, by Doug Denteon, as Manager of The Orchard Church, a Colorado limited liability company. Non Profit

WITNESS my hand and official seal.



Notary Public

My Commission Expires:

NORRIS-DESIGN.COM

1101 BANNOCK STREET DENVER, 00 80204 P 303.892.1188

NORRIS DESIGN PEOPLE + PLACEMAKING

FOULLDING PASTOR

> REVISION DATE DWN. BY SBW CHK. BY LV SCALE 1"=100' DATE 8/27/2024 JOB NO. 16174.00 SHT. 1 OF 6

J·R ENGINEERING

COVER SHEET

PLANNED DEVELOPMENT OF KESTREL

CORPORATION.

Centennial 303-740-9393 Colorado Springs 719-593-2593 Fort Collips 970-491-9888

BEING A PORTION OF ORCHARD SUBDIVISION FILING 1

LOCATED IN THE SW 1/4 OF SECTION 36, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF BRIGHTON, COUNTY OF ADAMS, STATE OF COLORADO

SITE DATA CHART	
OVERALL PROJECT ACREAGE	26.21 AC / 1,141,562 SF

PROJECT TEAM

OWNER DEVELOPER

The Orchard Church

12405 E 120th Avenue

Henderson, CO 80640

Boulder Creek Neighborhoods

712 Main Street

Louisville, CO 80027

P: 720-837-5491

ENTITLEMENTS

Norris Design 1101 Bannock Street Denver, CO 80204

P: 303-892-1166

CIVIL ENGINEER/SURVEYOR

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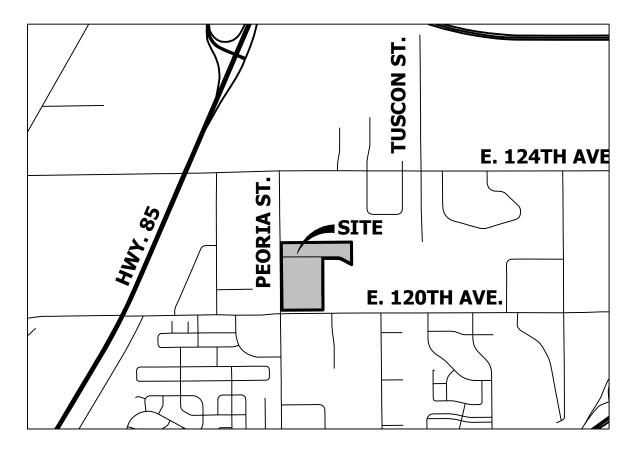
303-032-1100

BENCHMARK

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VICINITY MAP

NTS

CITY COUNCIL CERTIFICATE:	
Approved this day of by the City Council of Brighton, Colorado.	, 20
MAYOR SIGNATURE	
CITY CLERK SIGNATURE	

SHEET INDEX

- 01 Cover Sheet
- 02 Cover Sheet Legal Description
- 03 Existing Conditions Plan
- 04 Zoning Map
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- 06 Regulating Plan

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requireme	requirements and intent set forth in this PD. Witness my/our hand(s) seal(s)								
this	day of	, 20							
The Orchard Church									

a Colorado limited liability company

By:	The Orchard Church
•	a Colorado limited liability company,
	its Manager

|--|

STATE OF	
) ss:
COUNTY OF)

The foregoir	instrument	was	acknowledged	before	me	as	of	the
day of		20_	, by		_, as	s M	ana	ıger
of The Orchard Ch	urch. a Colora	do lin	nited liability cor	npany.				

WITNESS my hand and official seal.

Notary Public
My Commission Expires:

NORRIS-DESIGN.COM 1101 BANNOCK STREET DENVER, CO 80204 P 303.892.1166



4					COVER SHEET
2					PLANNED DEVELOPMENT OF KESTREL
1					
NO. REVISION			BY	DATE	
DWN. BY SBW		CHK. BY LV			J·R ENGINEERING
SCA	LE 1"=100'	DATE 8/27/2	//2024		A Westrian Company Centennial 303-740-9393 Colorado Springs
JOB NO. 16174.00		SHT. 1	of 6		719-593-2593 Fort Collins 970-491-9888 www.irengineering.com

BEING A PORTION OF ORCHARD SUBDIVISION FILING 1 LOCATED IN THE SW 1/4 OF SECTION 36, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF BRIGHTON, COUNTY OF ADAMS, STATE OF COLORADO

LEGAL DESCRIPTION

A PARCEL OF LAND BEING ALL OF TRACTS A, B, C, & D, ORCHARD SUBDIVISION FILING 1 RECORDED UNDER RECEPTION NO. 2017000002085 IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER, AND A PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE NORTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEING MONUMENTED AT THE WEST END BY A 3-1/4" ALUMINUM CAP STAMPED "LS23027", AND AT THE EAST END BY A 2" ALUMINUM CAP STAMPED "LS24302, SAID LINE BEARS N89°55'56"E AS REFERENCED TO COLORADO STATE PLANE CENTRAL ZONE NAD(83).

BEGINNING AT THE NORTHWEST CORNER OF TRACT A, ORCHARD SUBDIVISION FILING 1, RECORDED UNDER RECEPTION NO. 2017000002085 IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER, SAID POINT ALSO BEING ON THE NORTH LINE OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN;

THENCE ON SAID NORTH LINE, N89°55'56"E A DISTANCE OF 1310.23 FEET;

THENCE DEPARTING SAID NORTH LINE, S00°35'20"E A DISTANCE OF 418.79 FEET, TO THE NORTHEAST CORNER OF LOT 2, BLOCK 1, ORCHARD SUBDIVISION FILING 1, AMENDMENT 1 RECORDED UNDER RECEPTION NO. 2019000097278:

THENCE ON THE NORTHERLY LINES OF SAID LOT 2, THE FOLLOWING FOUR (4) COURSES:

- 1. N62°44'43"W A DISTANCE OF 213.96 FEET, TO A POINT OF CURVE;
- 2. ON THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 170.00 FEET, A CENTRAL ANGLE OF 27°26'21" AND AN ARC LENGTH OF 81.41 FEET, TO A POINT OF TANGENT;
- 3. S89°48'56"W A DISTANCE OF 271.07 FEET;
- 4. S44°53'49"W A DISTANCE OF 10.24 FEET, TO A POINT ON THE WESTERLY LINE OF SAID LOT2:

THENCE ON THE WESTERLY LINES OF SAID LOT 2, AND LOT 1, BLOCK 1 OF SAID ORCHARD SUBDIVISION FILING 1, AMENDMENT 1, THE FOLLOWING NINE (9) COURSES:

- 1. S00°01'05"W A DISTANCE OF 182.78 FEET, TO A POINT OF CURVE;
- 2. ON THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 49.50 FEET, A CENTRAL ANGLE OF 11°32'13" AND AN ARC LENGTH OF 9.97 FEET. TO A POINT OF TANGENT:
- 3. S11°31'08"E A DISTANCE OF 13.69 FEET, TO A POINT OF CURVE;
- 4. ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 62.50 FEET, A CENTRAL ANGLE OF 11°32'13" AND AN ARC LENGTH OF 12.58 FEET, TO A POINT OF TANGENT;
- 5. S00°01'05"W A DISTANCE OF 40.91 FEET, TO A POINT OF CURVE;
- 6. ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 62.50 FEET, A CENTRAL ANGLE OF 11°32'13" AND AN ARC LENGTH OF 12.58 FEET, TO A POINT OF TANGENT;
- 7. S11°33'18"W A DISTANCE OF 13.69 FEET, TO A POINT OF CURVE;
- 8. THENCE ON THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 49.50 FEET, A CENTRAL ANGLE OF 11°32'13" AND AN ARC LENGTH OF 9.97 FEET, TO A POINT OF TANGENT;
- 9. S00°01'05"W A DISTANCE OF 657.48 FEET, TO A POINT ON THE NORTHERLY RIGHT-OF-WAY OF 120TH AVENUE;

THENCE ON SAID NORTHERLY RIGHT-OF-WAY LINE, THE FOLLOWING THREE (3) COURSES:

- 1. S89°48'56"W A DISTANCE OF 25.00 FEET;
- 2. S00°01'05"W A DISTANCE OF 5.00 FEET;
- 3. S89°48'56"W A DISTANCE OF 727.40 FEET, TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF PEORIA STREET;

THENCE ON SAID EASTERLY RIGHT-OF-WAY LINE, N00°40'27"W A DISTANCE OF 1268.80 FEET; TO THE POINT OF BEGINNING.

CONTAINING A CALCULATED AREA OF 1,141,562 SQUARE FEET OR 26.2067 ACRES.

NORRIS-DESIGN.COM 1101 BANNOCK STREET DENVER, CO 80204 P 303.892.1166



_							
	4						
	3						
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	NO.	REVISION	BY	DATE			
	DWN	I. BY SBW	CHK. BY LV				
G	SCALE 1"=100'		DATE 8/27/24				
	JOB	NO. 16174.00	SHT. 2	of 6			

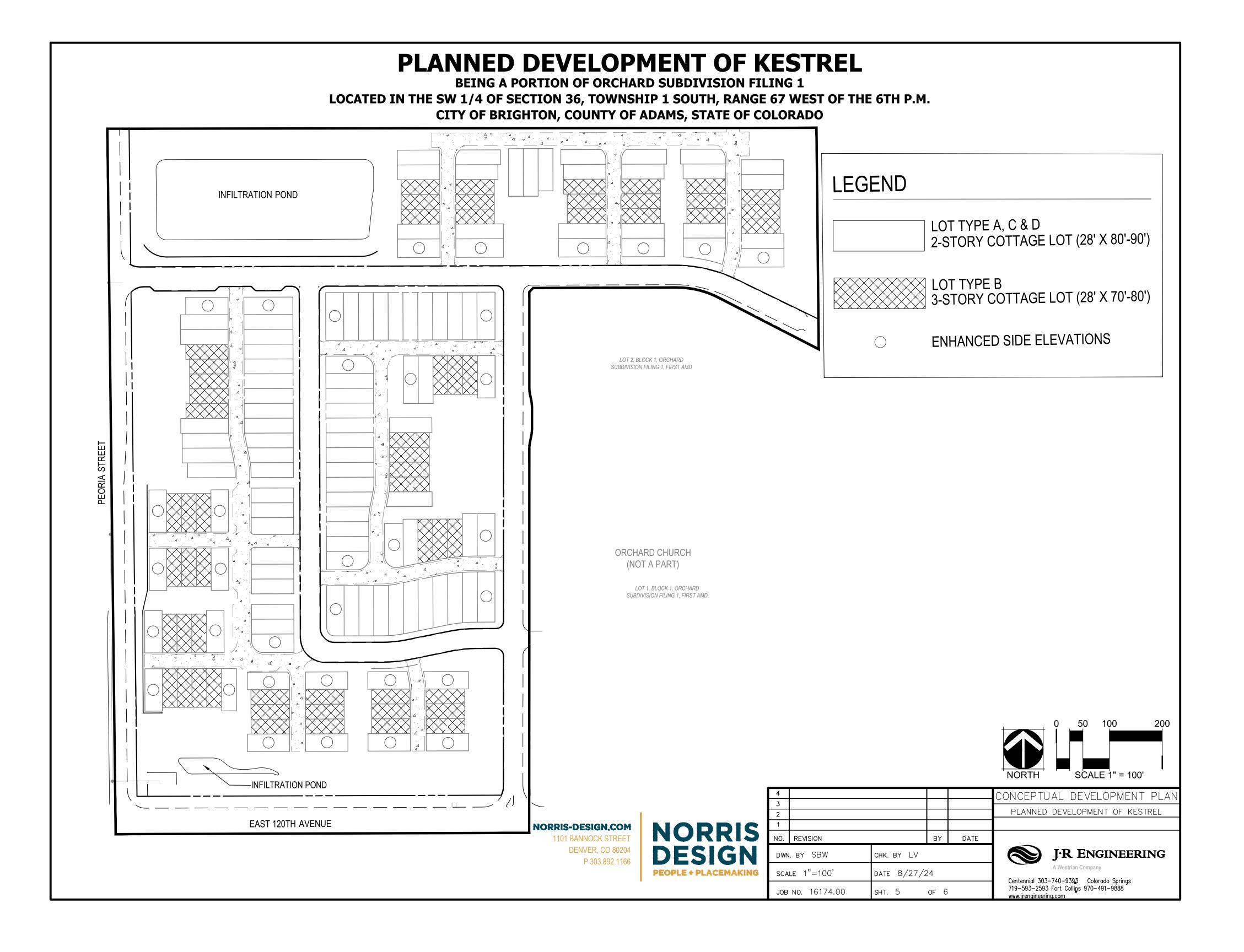
PLANNED DEVELOPMENT OF KESTREL



Centennial 303-740-9393 Colorado Springs 719-593-2593 Fort Collins 970-491-9888 www.irenqineerinq.com

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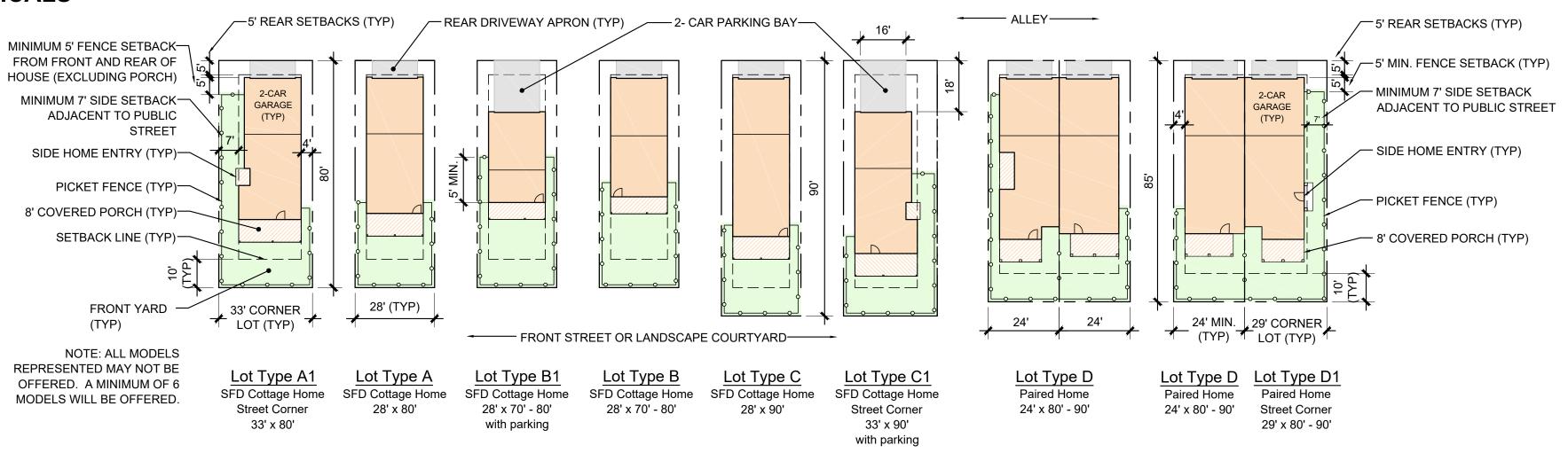
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BEING A PORTION OF ORCHARD SUBDIVISION FILING 1

LOCATED IN THE SW 1/4 OF SECTION 36, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF BRIGHTON, COUNTY OF ADAMS, STATE OF COLORADO

LOT TYPICALS



LOT DEVELOPMENT STANDARDS

RESIDENTIAL BUILDING TYPE	MINIMUM LOT SIZE	MINIMUM LOT WIDTH	MINIMUM CORNER LOT WIDTH	MINIMUM LOT OPEN SPACE	FRONT SETBACK	SIDE SETBACK	SIDE SETBACK (STREET CORNER)	REAR SETBACK	BUILDING HEIGHT	ALLOWED ENCROACHMENTS ***
DETACHED HOUSE - COMPACT (COTTAGE HOMES)	1,900 SF	28'	33'	400 SF	10'	4'	7'	5'	35' **	AC CONDENSER UNITS (ABOVE GRADE): 3' INTO SIDE SETBACK
DUPLEX - MULTI-UNIT HOUSE (PAIRED HOMES - 2 UNITS MAX)	1,900 SF	24'	29'	400 SF	10'	4' *	7'	5'	35'	COVERED OR UNCOVERED PORCH: 2' INTO SIDE SETBACK (END/CORNER LOTS WITH SIDE ENTRY ONLY)

- * 0' ALLOWED FOR SIDE SETBACK ON ATTACHED HOMES WITH SHARED LOT LINE / BUILDING WALL.
- ** 45' BUILDING HEIGHT ALLOWED PER NOTE BELOW.
- *** ALL OTHER ALLOWED ENCROACHMENTS PER THE LUDC.

STATEMENT OF INTENT

Kestrel is a unique 26-acre pocket neighborhood consisting of small, detached Cottage Homes and Paired Homes ranging in size from 1,000 - 2,200 sf (minimum 1,000 sf). This small format home type utilizes smaller lot sizes than those allowed in the City of Brighton Land Use & Development Code (LUDC).

The purpose of the PD is to:

- Create lot standards and development standards to support this unique Cottage housing type in a unique neighborhood design.
- Allow flexibility in design standards that are more appropriate for small Cottage homes.
- Allow smaller lot sizes for a variety of home types, price points, and sizes in the market, providing much needed Missing Middle housing options.

Homes feature attached rear alley-loaded 2-car garages, with outdoor living spaces extending out the front of the home. Outdoor living spaces include large useable, functional covered front porches and front yards enclosed with a picket fence. Roughly a third of the homes front to traditional tree-lined streets, another third front onto public open spaces, and a third front to courtyards, which are intimate shared open spaces flanked on either side by the fronts of homes. The property zoning is PD: Any items not set forth below in this PD document will default to R-2 zoning and the Detached House-Compact or Duplex/Multi-unit House Building Types in the LUDC, as may be amended.

BUILDING DESIGN STANDARDS

Streetscapes

A minimum of six (6) Models, four (4) elevation styles per Model, and six (6) color schemes will be offered for the Cottage Homes. Paired Homes, if offered, will consist of a minimum of three (3) Models & two (2) Elevation Styles per Model. Elevation Styles and color schemes are the primary method to create streetscape diversity for the Cottage Homes and Paired Homes. The same Model may be sited next to one another; however, variations in the elevation shall be provided from the two (2) buildings on either side, and one (1) building directly on the opposite side of the street or landscape courtyard. Variations in the elevations shall contain at least two of the following:

- . Variations in the Front Entry Features as defined in this PD.
- 2. Window types and placement.
- Materials and material changes, details and ornamentation.
- 4. Variations of the roof forms considering the type of roof, orientation of gables, or use of dormers; or
- Variations of the model with distinctively different floor plans that lead to different massing. Mirror images of the same model and floor plan shall not count.

Transparenc

Transparency shall follow the LUDC with the following exception: Transparency requirements may be met for both stories combined for rear elevations only (10%). All other elevations shall meet the minimum transparency requirements per story per the LUDC.

Front Entry Features

Covered front porches are the primary aesthetic and functional Front Entry Feature for the Cottage Homes and Paired Homes, and the front yard is the private outdoor yard space. Variations in the Front Entry Features will be provided on all homes and differentiated for all Models through one of the front porch options below, depending upon building type:

- 2-story Cottage Home Models with front porches spanning the width of the house, minimum of 8' in depth.
- 2-story Cottage Home Models and 2-story Paired Home Models with smaller covered front porches, minimum 6' x 6'.
- 3-story Cottage Home Models with front porches spanning the width of the house, minimum of 6' in depth.

Massing & Modulation

Modulation and offsets will not be required on passive side elevations between homes. On corner lots with a side elevation facing a public street (Side-Street Elevations) and as indicated on the Conceptual Development Plan of this PD, a side entry home Model with an Enhanced Side Elevation shall be utilized. Enhanced Side Elevations shall utilize modulation in the following manner:

- 1. 2' offset in the foundation for a minimum distance of 1/3 the length of the building.
- 2. Minimum two (2) different materials (lap siding, vertical siding, wood shakes, board & batt are considered different materials).

Roof Plane Limits without offsets, dormers or gables

For passive side elevations, this requirement shall not apply. For Enhanced Side Elevations, the standard per the LUDC shall apply.

Height Exceptions

Any residential building fronting directly on common open space, or fronting on blocks directly opposite of open space, may be built to 45' and 3 stories, provided there is 50' minimum as measured between homes (including private lot open space). No height exception is allowed on any corner lots or lots at the end of a block of homes.

Lot Fencing

Front yard fencing is optional by either Builder or Homeowner, and will be maintained by Homeowner. All front yard fencing shall be wood or vinyl picket fence, maximum height of 48". Wing fence, if provided, shall be set back minimum of 5' from front and rear of house (excluding front porch). Side lot fencing shall follow lot lines.

Common Area Fencing

Fencing is required around the lift station and may be up to 10 feet generally if at least 50% open above 7 feet high. Fence may be taller to serve the functional need of the facility.

Buffer Alternative

This Planned Development proposes an alternative to the Type III buffer at the north property line. This buffer alternative is requested due to the existence of utilities and limitations that prohibit the installation of plant material. The following buffer alternative is proposed at this location:

- A 6' privacy fence is required along the north property line, that runs the length of the property line, with the exception of the Emergency Vehicle Access.

AMENDMENTS

Amendments to this Planned Development are allowed per the following standards:

- 1. Minor Amendments
 - At the discretion of the Director of the Community Development, minor alterations to the Planned Development may occur without review by the Planning Commission or City Council if the alterations do not exceed the below:
 - Any alteration in the design or development standards of this Planned Development by not more than 10%. Any deviation of 10% or more shall require a Major Amendment.
- 2. Major Amendments
 - Major Amendments shall mean any alterations to this Planned Development exceeding the limits established above or any change in category of use and shall be reviewed by the Planning Commission and City Council according to the procedures of the LUDC, as amended.

4					REGULATORY PLAN
2					PLANNED DEVELOPMENT OF KESTREL
1					
NO.	REVISION		BY	DATE	
DWN. BY MC		снк. ву МС			J·R Engineering
SCALE 1" = 30'		DATE 8/27/2024			A Westrian Company
JOB NO. 16174.00		SHT. 6	of 6		Centennial 303-740-9393 • Colorado Springs 719-593-2593 Fort Collins 970-491-9888 • www.jrengineering.com